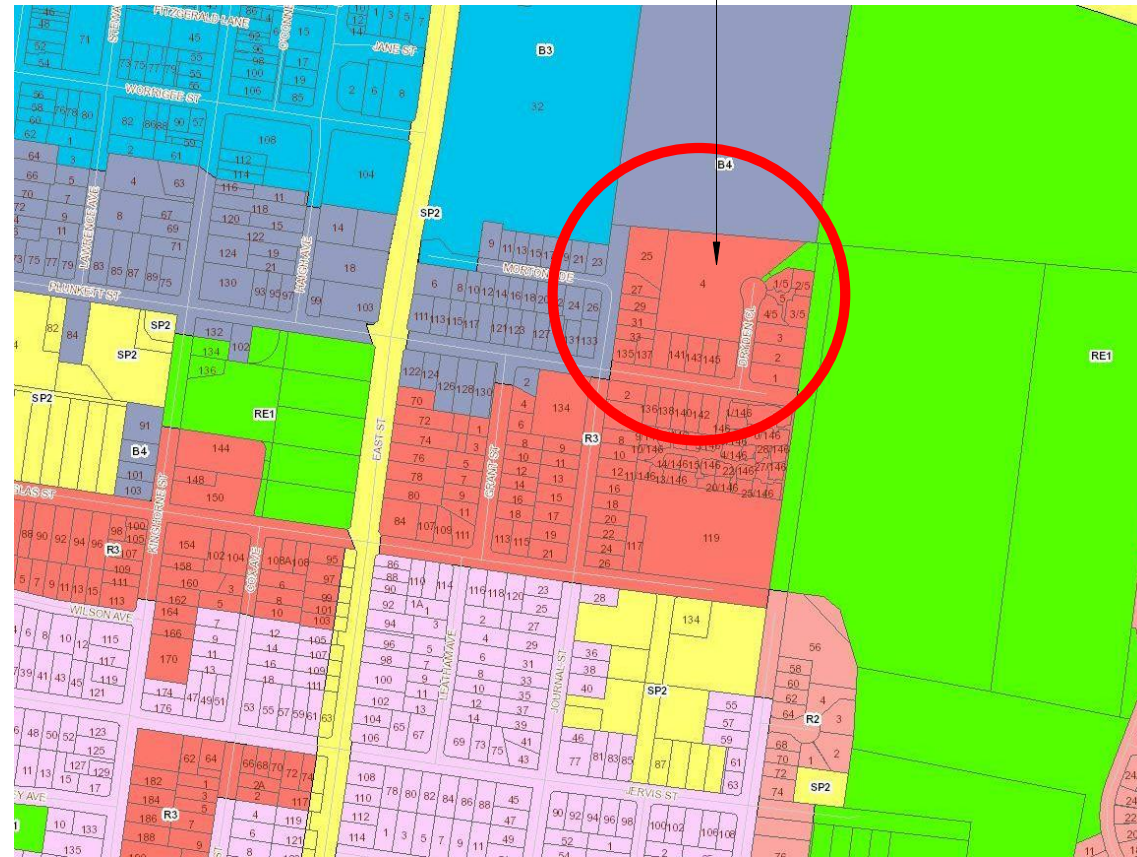


SUBJECT SITE



PROJECT
**STAGE 2 PROPOSED MEDIUM
 DENSITY DEVELOPMENT**

FOR
DRYDEN

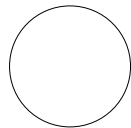
JOB ADDRESS
**LOT 9 in DP 862550, 4 DRYDEN
 CLOSE NOWRA**

SUBJECT
CONSTRUCTION DRAWINGS

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|--------------|------------------------------------|
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Stage 2 Window Schedule

| Mark | Room | Window Style | Height | Width | Remarks |
|----------------|------------|--------------|--------|-------|----------|
| Unit 8 | | | | | |
| U8/1 | Living | Sliding | 1800 | 2410 | |
| U8/2 | Bed 3 | Sliding | 1800 | 1810 | |
| U8/3 | Bed 1 | Sliding | 1800 | 2170 | |
| U8/4 | Ens | Sliding | 944 | 850 | Obscured |
| U8/5 | Bed 2 | Sliding | 1030 | 1810 | |
| U8/6 | Bath. | Sliding | 944 | 610 | Obscured |
| U8/7 | Bed 4 | Sliding | 1030 | 1810 | |
| U8/8 | Family | Sliding | 1800 | 1810 | |
| U8/9 | Dining | Sliding | 1800 | 1210 | |
| U8/10 | Kitchen | Sliding | 944 | 1210 | |
| U8/11 | L'dry | Sliding | 944 | 610 | |
| Unit 9 | | | | | |
| U9/1 | Living | Sliding | 1800 | 2410 | |
| U9/2 | Bed 3 | Sliding | 1800 | 1810 | |
| U9/3 | Bed 1 | Fixed | 1800 | 610 | |
| U9/4 | Bed 1 | Sliding | 1800 | 1210 | |
| U9/5 | Bed 1 | Fixed | 1800 | 610 | |
| U9/6 | Ens | Sliding | 944 | 850 | Obscured |
| U9/7 | Bed 2 | Sliding | 1030 | 1810 | |
| U9/8 | Bath. | Sliding | 944 | 610 | Obscured |
| U9/9 | Bed 4 | Sliding | 1030 | 1810 | |
| U9/10 | Family | Sliding | 1800 | 1810 | |
| U9/11 | Dining | Sliding | 1800 | 1210 | |
| U9/12 | Kitchen | Sliding | 944 | 1210 | |
| U9/13 | L'dry | Sliding | 944 | 610 | |
| Unit 10 | | | | | |
| U10/1 | Entry | Fixed | 2100 | 490 | |
| U10/2 | Living | Sliding | 1200 | 2170 | |
| U10/3 | Kitchen | Sliding | 944 | 1450 | |
| U10/4 | L'dry | Sliding | 944 | 490 | |
| U10/5 | Ens | Sliding | 1030 | 850 | Obscured |
| U10/6 | Bed 1 | Sliding | 1030 | 1810 | |
| U10/7 | Bed 1 | Sliding | 1030 | 850 | |
| U10/8 | Stair Void | Fixed | 1030 | 850 | |
| U10/9 | Bed 2 | Sliding | 1030 | 2170 | |
| U10/10 | Bed 3 | Sliding | 1030 | 1810 | |
| U10/11 | Bath. | Sliding | 944 | 1210 | Obscured |
| U10/12 | Bed 4 | Sliding | 1030 | 1810 | |
| Unit 11 | | | | | |
| U11/1 | Entry | Fixed | 2100 | 490 | |
| U11/2 | Living | Sliding | 1200 | 2170 | |
| U11/3 | Kitchen | Sliding | 944 | 1450 | |
| U11/4 | L'dry | Sliding | 944 | 490 | |
| U11/5 | Ens | Sliding | 1030 | 850 | Obscured |
| U11/6 | Bed 1 | Sliding | 1030 | 1810 | |
| U11/7 | Bed 1 | Sliding | 1030 | 850 | |
| U11/8 | Stair Void | Fixed | 1030 | 850 | |
| U11/9 | Bed 2 | Sliding | 1030 | 2170 | |
| U11/10 | Bed 3 | Sliding | 1030 | 1810 | |
| U11/11 | Bath. | Sliding | 944 | 1210 | Obscured |
| U11/12 | Bed 4 | Sliding | 1030 | 1810 | |

Stage 2 Window Schedule

| Mark | Room | Window Style | Height | Width | Remarks |
|----------------|------------|--------------|--------|-------|----------|
| Unit 12 | | | | | |
| U12/1 | Entry | Fixed | 2100 | 490 | |
| U12/2 | Living | Sliding | 1200 | 2170 | |
| U12/3 | Kitchen | Sliding | 944 | 1450 | |
| U12/4 | L'dry | Sliding | 944 | 490 | |
| U12/5 | Ens | Sliding | 1030 | 850 | Obscured |
| U12/6 | Bed 1 | Sliding | 1030 | 1810 | |
| U12/7 | Bed 1 | Sliding | 1030 | 850 | |
| U12/8 | Stair Void | Fixed | 1030 | 850 | |
| U12/9 | Bed 2 | Sliding | 1030 | 2170 | |
| U12/10 | Bed 3 | Sliding | 1030 | 1810 | |
| U12/11 | Bath. | Sliding | 944 | 1210 | Obscured |
| U12/12 | Bed 4 | Sliding | 1030 | 1810 | |
| Unit 13 | | | | | |
| U13/1 | Entry | Fixed | 2130 | 370 | |
| U13/3 | Bed 2 | Sliding | 1800 | 1810 | |
| U13/4 | Bed 1 | Sliding | 1800 | 2410 | |
| U13/5 | Ens | Sliding | 944 | 610 | Obscured |
| U13/6 | Bed 3 | Sliding | 944 | 1210 | |
| U13/7 | Bed 4 | Sliding | 944 | 1450 | |
| U13/8 | L'dry | Sliding | 944 | 610 | |
| U13/9 | Kitchen | Sliding | 944 | 1210 | |
| U13/10 | Dining | Sliding | 1800 | 1570 | |
| U13/12 | Living | Sliding | 1800 | 1570 | |
| U13/13 | Living | Sliding | 1800 | 970 | |
| U13/14 | Living | Sliding | 1800 | 1570 | |
| U13/16 | Dining | Sliding | 1800 | 1810 | |

UNIT 13 NOTES: W2, W11 & W15 HAVE BEEN REMOVED

Stage 2 Door Schedule

| Mark | Room Name | Door Style | Height | Width |
|----------------|-----------|------------|--------|-------|
| Unit 8 | | | | |
| U8/1 | Family | Sliding | 2100 | 1810 |
| Unit 9 | | | | |
| U9/1 | Family | Sliding | 2100 | 1810 |
| Unit 10 | | | | |
| U10/1 | Dining | Sliding | 2100 | 2410 |
| Unit 11 | | | | |
| U11/1 | Dining | Sliding | 2100 | 2410 |
| Unit 12 | | | | |
| U12/1 | Dining | Sliding | 2100 | 2410 |
| Unit 13 | | | | |
| U13/1 | Living | Sliding | 2100 | 1570 |

Overall Building Area

| Name | Area |
|------------------|-----------------------|
| Unit 8 | |
| U8 Alfresco | 16.35 m ² |
| U8 Garage | 35.47 m ² |
| U8 Ground Floor | 120.94 m ² |
| U8 Patio | 2.12 m ² |
| | 174.88 m ² |
| Unit 9 | |
| U9 Alfresco | 16.35 m ² |
| U9 Garage | 35.47 m ² |
| U9 Ground Floor | 120.94 m ² |
| U9 Patio | 2.12 m ² |
| | 174.88 m ² |
| Unit 10 | |
| U10 Alfresco | 16.00 m ² |
| U10 First Floor | 94.30 m ² |
| U10 Garage | 35.13 m ² |
| U10 Ground Floor | 68.51 m ² |
| U10 Patio | 3.45 m ² |
| | 217.39 m ² |

Stage 2 Roof Schedule

| Type | Area |
|------------------------|------------------------|
| U8 Colorbond Roof | 202.19 m ² |
| U9 Colorbond Roof | 195.71 m ² |
| Unit 10 Colorbond Roof | 144.57 m ² |
| Unit 11 Colorbond Roof | 141.21 m ² |
| Unit 12 Colorbond Roof | 141.27 m ² |
| Unit 13 Colorbond Roof | 205.11 m ² |
| | 1030.08 m ² |

Overall Building Area

| Name | Area |
|------------------|-----------------------|
| Unit 11 | |
| U11 Alfresco | 16.00 m ² |
| U11 First Floor | 93.81 m ² |
| U11 Garage | 35.19 m ² |
| U11 Ground Floor | 67.78 m ² |
| U11 Patio | 3.45 m ² |
| | 216.23 m ² |
| Unit 12 | |
| U12 Alfresco | 16.00 m ² |
| U12 First Floor | 94.31 m ² |
| U12 Garage | 35.79 m ² |
| U12 Ground Floor | 67.13 m ² |
| U12 Patio | 3.45 m ² |
| | 216.68 m ² |
| Unit 13 | |
| U13 Alfresco | 16.20 m ² |
| U13 Garage | 35.46 m ² |
| U13 Ground Floor | 119.80 m ² |
| U13 Patio | 7.25 m ² |
| | 178.71 m ² |

| AMENDMENTS: | | | |
|-------------|-------|-----------|------|
| No: | DATE: | COMMENTS: | DWN: |
| | | | |
| | | | |
| | | | |

GENERAL NOTES:

- Dimensions in preference to scale
- All ground lines are approximate
- Window & Door sizes as shown - Nominal
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
- Wind Rating refer to framing manufacturer's specification

DRAWING: Schedules

PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT

SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN

SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019

DATE: 14.12.20

DRAWN: J.H

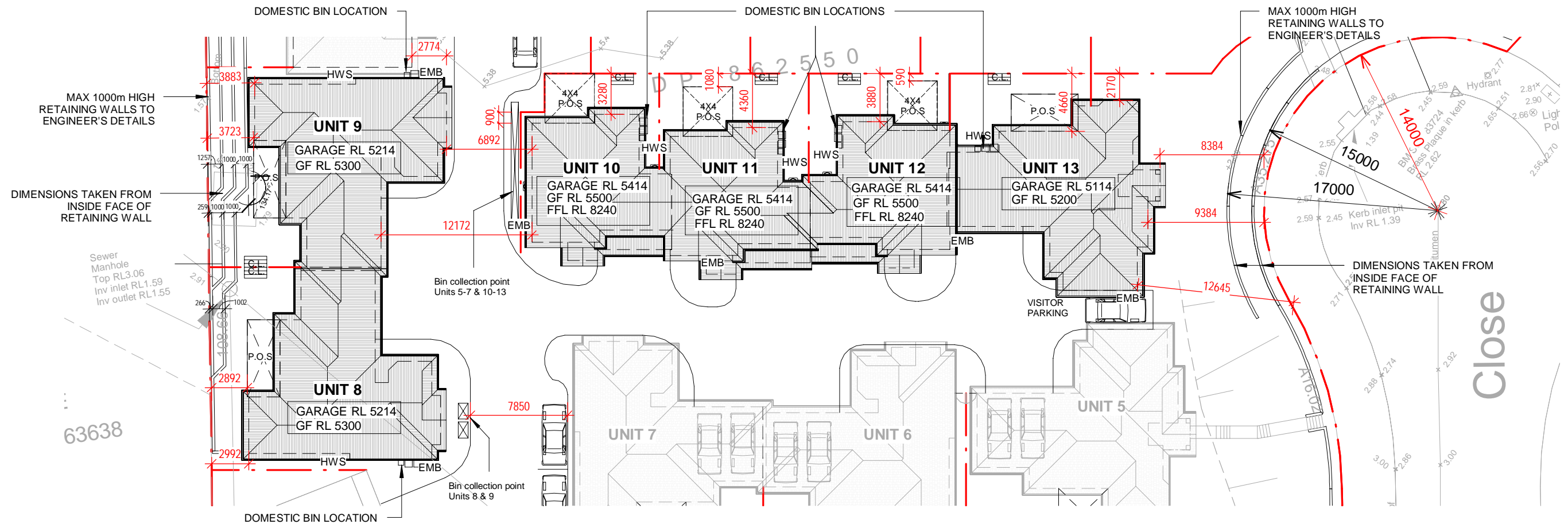
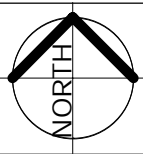
SCALE:

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PAGE No.: S2-01



GENERAL CONSTRUCTION NOTES :-

(APPLICABLE TO ALL PLANS)

- ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- KITCHEN, BATHROOM, ENSUITE AND LAUNDRY TO OWNERS REQUIREMENTS.
- ALL INTERNAL WALL RECESS FEATURES TO OWNERS DETAIL.
- VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE B.C.A. VOLUME 2, CLAUSE 3.31.8.
- PROVIDE STRUCTURAL PLYWOOD BRACING IN ACCORDANCE WITH A.S. 1684.
- ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO SEARCH OF PUBLIC UTILITIES OR SUB SURFACE INVESTIGATION HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELSTRA, INTEGRAL ENERGY, GAS, WATER OR SEWER. SEE THE ATTACHED DIAL BEFORE YOU DIG CAUTION IN THIS PLAN SPACE. NO INVESTIGATION OF LOCATION OF ANY FOOTINGS OR FOUNDATIONS HAS BEEN CARRIED OUT.
- CONTOURS ARE INTERPOLATED FROM SPOT LEVELS AS SHOWN & SHOULD BE USED AS A GUIDE ONLY. DO NOT RE-INTERPOLATE CONTOURS.

1 Stage 2 Site Plan
1 : 350

NOTE:

- ALL RETAINING WALL RLs TO BE CONFIRMED ON SITE BY CIVIL ENGINEER
- ALL RLs TO BE IN ACCORDANCE WITH CIVIL PLANS. PLEASE REFER TO CIVIL PLANS

LEGEND:-

- (B) - DOMESTIC WASTE BINS
- (RWT)* - RAIN WATER TANK
- (HWS)* - HOT WATER SYSTEM
- (CL)* - CLOTHES LINE
- (MB) - MAIL BOX
- (EMB)* - ELECTRICAL METER BOX
- (DP) - DOWN PIPE
- (SA) - SMOKE ALARM
- (WM)* - WASHING MACHINE
- (CJ) - BRICK CONTROL JOINT
- (MT) - MAINS WATER TAP
- (ET) - ELECTRICITY TURRET
- (GP) - GRATED PIT
- (MH) - MAINTENANCE HOLE
- (TP) - TELSTRA PIT
- (WM) - WATER METER
- (SL) - SKY LIGHT

* ALL ITEMS TO BE INSTALLED & SUPPLIED IN ACCORDANCE WITH BASIX REQUIREMENTS.

| AMENDMENTS: | | | DWN: |
|-------------|-------|-----------|------|
| No: | DATE: | COMMENTS: | |
| | | | |
| | | | |
| | | | |

GENERAL NOTES:

- Dimensions in preference to scale
- All ground lines are approximate
- Window & Door sizes as shown - Nominal
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
- Wind Rating refer to framing manufacturer's specification

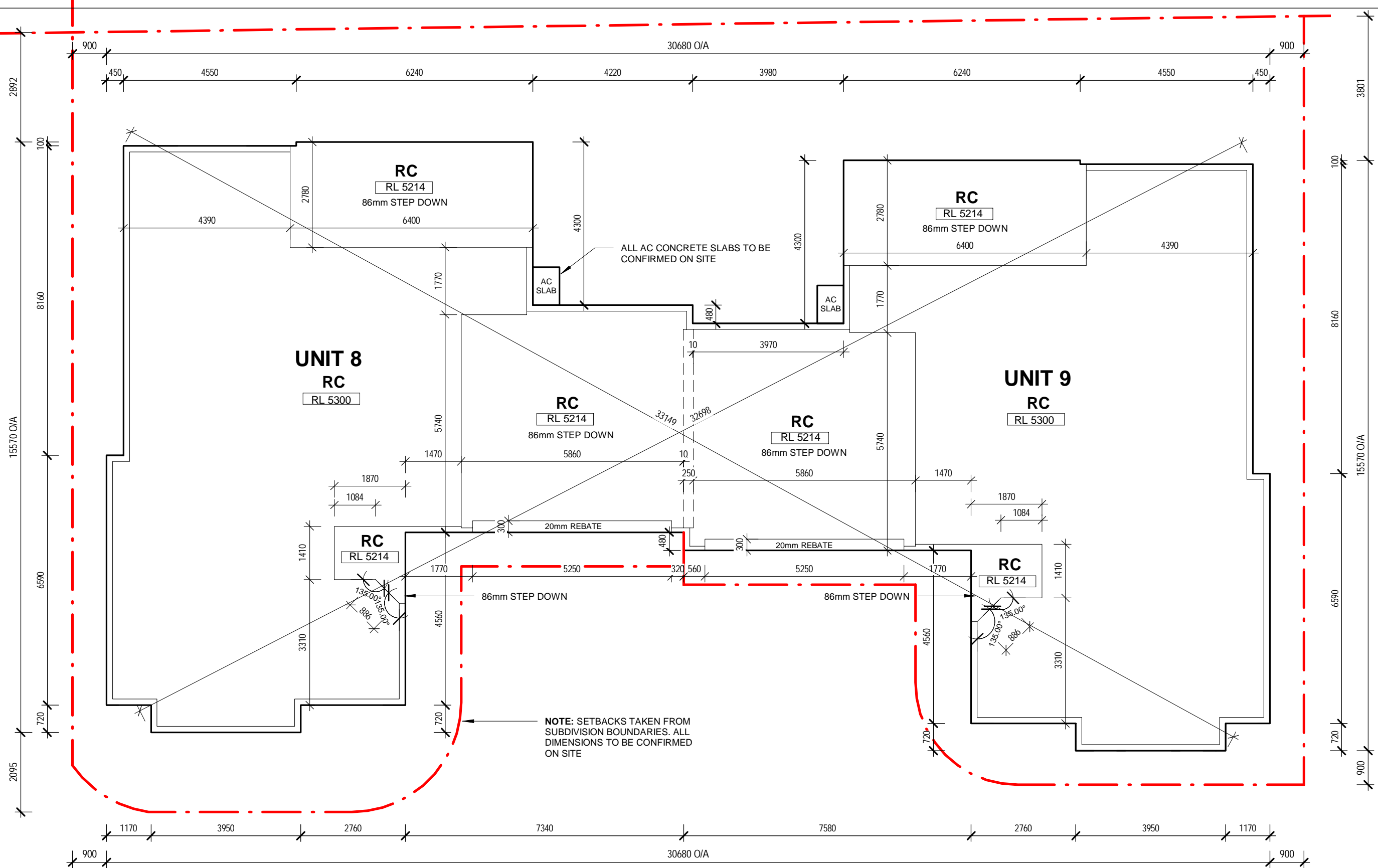
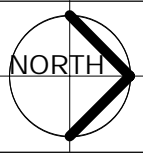
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PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: As indicated

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PAGE No.: S2-03



NOTE: SETBACKS TAKEN FROM SUBDIVISION BOUNDARIES. ALL DIMENSIONS TO BE CONFIRMED ON SITE

ALL AC CONCRETE SLABS TO BE CONFIRMED ON SITE

GENERAL NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE B.C.A. VOLUME 2, CLAUSE 3.31.8.
- PROVIDE STRUCTURAL PLYWOOD BRACING IN ACCORDANCE WITH A.S. 1684.

GENERAL SLAB CONSTRUCTION NOTES:

- ALL SLAB PENETRATIONS TO BE CONFIRMED ON SITE
- ALL TANK SLAB LOCATIONS & DIMENSIONS TO BE CONFIRMED ON SITE
- ALL AC SLAB LOCATIONS & DIMENSIONS TO BE CONFIRMED ON SITE
- ALL EDGE BEAM LOCATIONS TO BE CONFIRMED ON SITE
- CONFIRM ALL MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION
- NO TOLERANCE ALLOWED FOR SLAB SET-DOWNS

1

U8 &9 Concrete Slab Set Out Plan

1 : 100

| AMENDMENTS: | | | DWN: |
|-------------|-------|-----------|------|
| No: | DATE: | COMMENTS: | |
| | | | |
| | | | |

GENERAL NOTES:

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- All ground lines are approximate
- Window & Door sizes as shown - Nominal
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
- Wind Rating refer to framing manufacturer's specification

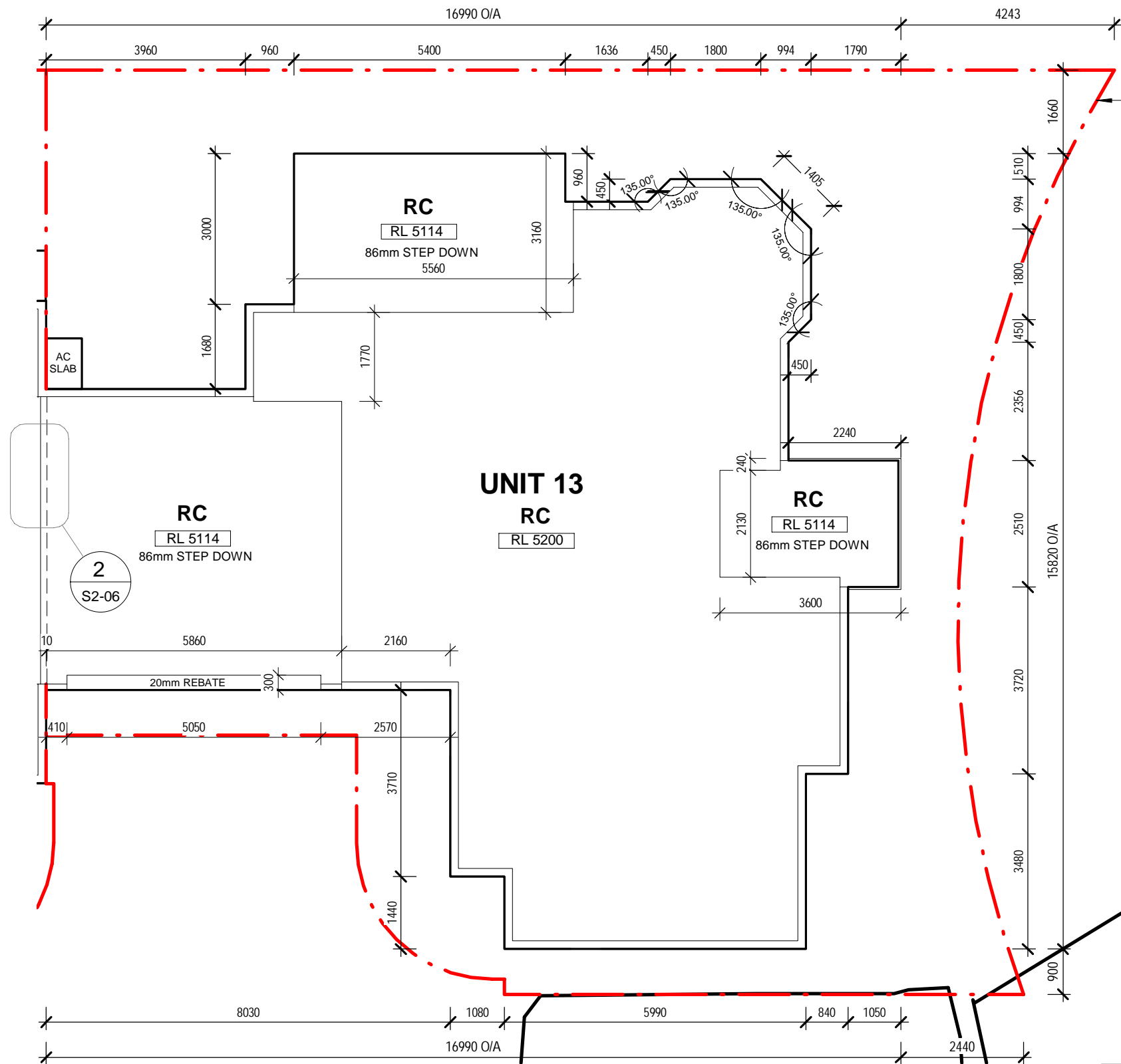
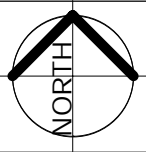
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PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

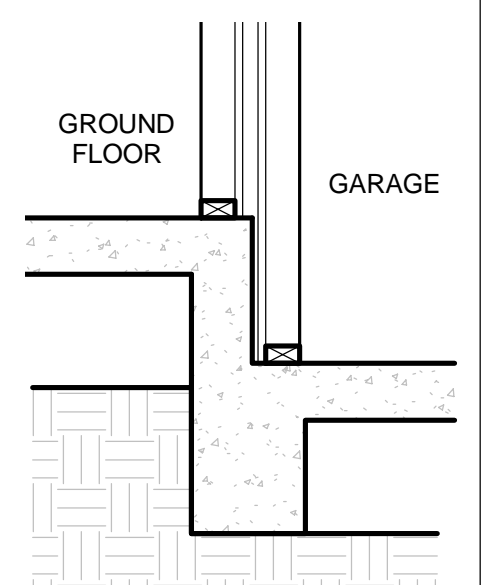
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PAGE No.: S2-04



NOTE: SETBACKS TAKEN FROM SUBDIVISION BOUNDARIES. ALL DIMENSIONS TO BE CONFIRMED ON SITE

U12 & 13 COMMON WALL SECTION DETAIL



NOTE: BUILDER TO CONFIRM SETDOWN LOCATION & COMMON WALL SPECIFICATION

2
1:20



GENERAL NOTES:

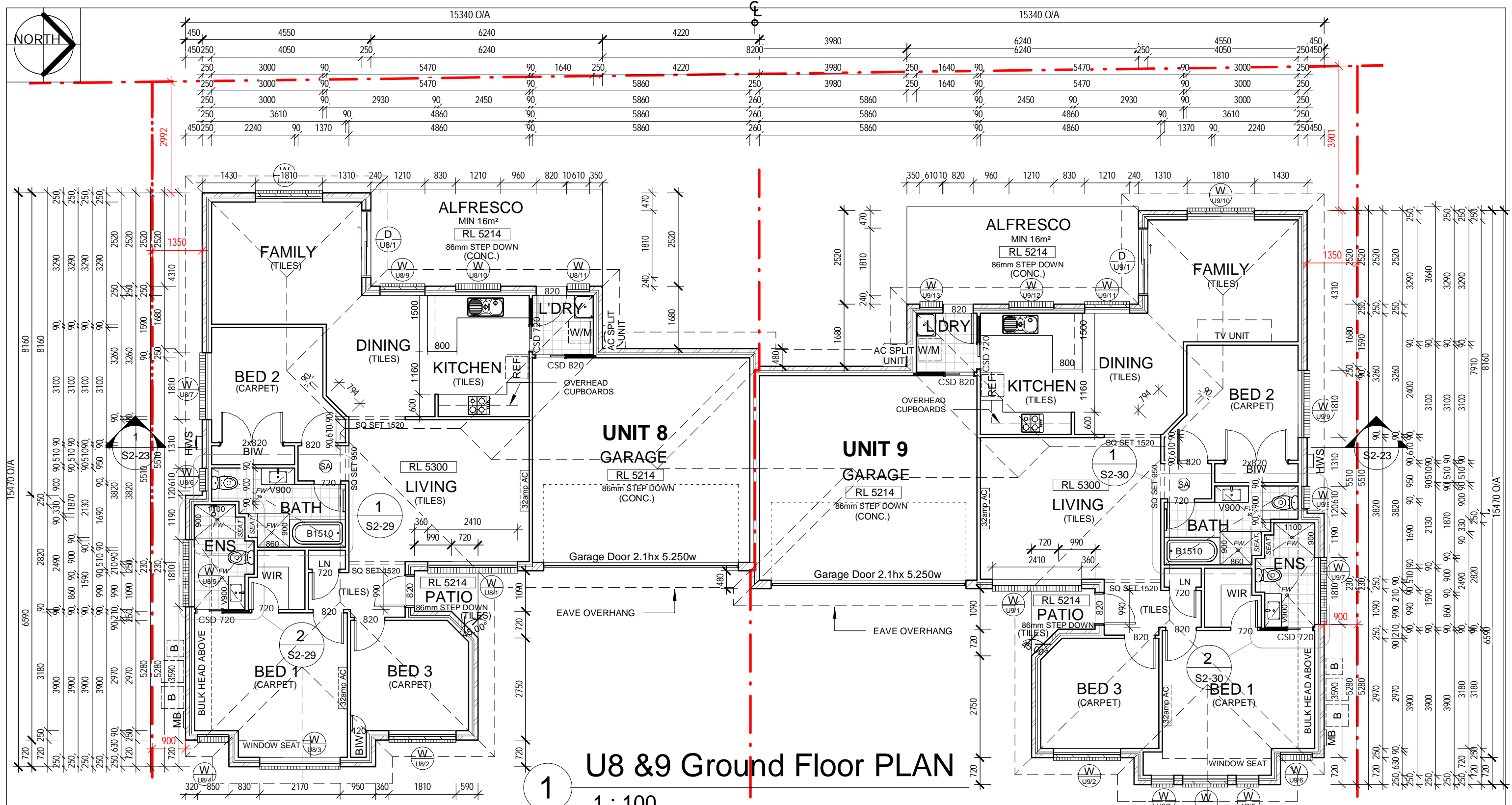
- ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE B.C.A. VOLUME 2, CLAUSE 3.31.8.
- PROVIDE STRUCTURAL PLYWOOD BRACING IN ACCORDANCE WITH A.S. 1684.

GENERAL SLAB CONSTRUCTION NOTES:

- ALL SLAB PENETRATIONS TO BE CONFIRMED ON SITE
- ALL TANK SLAB LOCATIONS & DIMENSIONS TO BE CONFIRMED ON SITE
- ALL AC SLAB LOCATIONS & DIMENSIONS TO BE CONFIRMED ON SITE
- ALL EDGE BEAM LOCATIONS TO BE CONFIRMED ON SITE
- CONFIRM ALL MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION
- NO TOLERANCE ALLOWED FOR SLAB SET-DOWNS

1 U13 Concrete Slab Set Out Plan
1 : 100

| | | | | | | | |
|--------------------|-------|---|--|--|--|---|---|
| AMENDMENTS: | | GENERAL NOTES: - Dimensions in preference to scale - All ground lines are approximate - Window & Door sizes as shown - Nominal - All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities - Wind Rating refer to framing manufacturer's specification | DRAWING: U13 Concrete Slab Set Out Plan PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT SUBJECT: CONSTRUCTION DRAWINGS | CLIENT: DRYDEN SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA | JOB No.: 00472019 DATE: 14.12.20 DRAWN: J.H SCALE: As indicated |  ABN: 37 164 783 108 PH: 4295 4433 Suite 14, 2 Memorial Dr, Shellharbour City Center © 2014 JIH BUILDING DESIGN PTY LTD |  PAGE No.: S2-06 |
| No: | DATE: | | | | | | |



U8 & 9 Ground Floor PLAN

1 : 100

| | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------|------|------|------|------|-------|------|-------|------|-------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|-----|
| 250 | 1100 | 90 | 2870 | 90 | 4860 | 90 | 5860 | 260 | 5860 | 90 | 590 | 1810 | 360 | 470 | 610 | 230 | 1210 | 230 | 610 | 590 | 850 | 320 | | | | | |
| 1600 | 90 | 2620 | 90 | 4860 | 90 | 5860 | 260 | 5860 | 90 | 4860 | 90 | 2870 | 90 | 1100 | 250 | 4860 | 90 | 2620 | 90 | 1350 | 250 | 250 | | | | | |
| 250 | 1600 | 90 | 1280 | 90 | 1000 | 90 | 4860 | 90 | 5860 | 260 | 5860 | 90 | 1000 | 90 | 1280 | 90 | 1600 | 250 | 4860 | 90 | 1000 | 90 | 1280 | 90 | 1600 | 250 | |
| 250 | 1350 | 90 | 1530 | 90 | 2610 | 250 | 1710 | 250 | 7340 | 250 | 7330 | 1710 | 250 | 2610 | 90 | 1530 | 90 | 1350 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | | |
| 250 | 2970 | 90 | 1140 | 420 | 2760 | 250 | 14920 | 250 | 14920 | 250 | 3180 | 90 | 1050 | 90 | 2970 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | |
| 250 | 1170 | 250 | 4110 | 90 | 3180 | 250 | 14920 | 250 | 20440 | 250 | 3180 | 90 | 4110 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | |
| 1170 | 250 | 3450 | 250 | 2760 | 250 | 7340 | 250 | 7340 | 250 | 7580 | 250 | 2760 | 250 | 3450 | 250 | 1170 | 250 | 1170 | 250 | 1170 | 250 | 1170 | 250 | 1170 | 250 | 1170 | 250 |
| 1170 | 3950 | 2760 | 7340 | 7580 | 30680 | O/A | | | | | | | | | | | | | | | | | | | | | |

| AMENDMENTS: | | |
|-------------|-------|-----------|
| No: | DATE: | COMMENTS: |
| | | |
| | | |
| | | |

GENERAL NOTES:

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- Wind Rating refer to framing manufacturer's specification

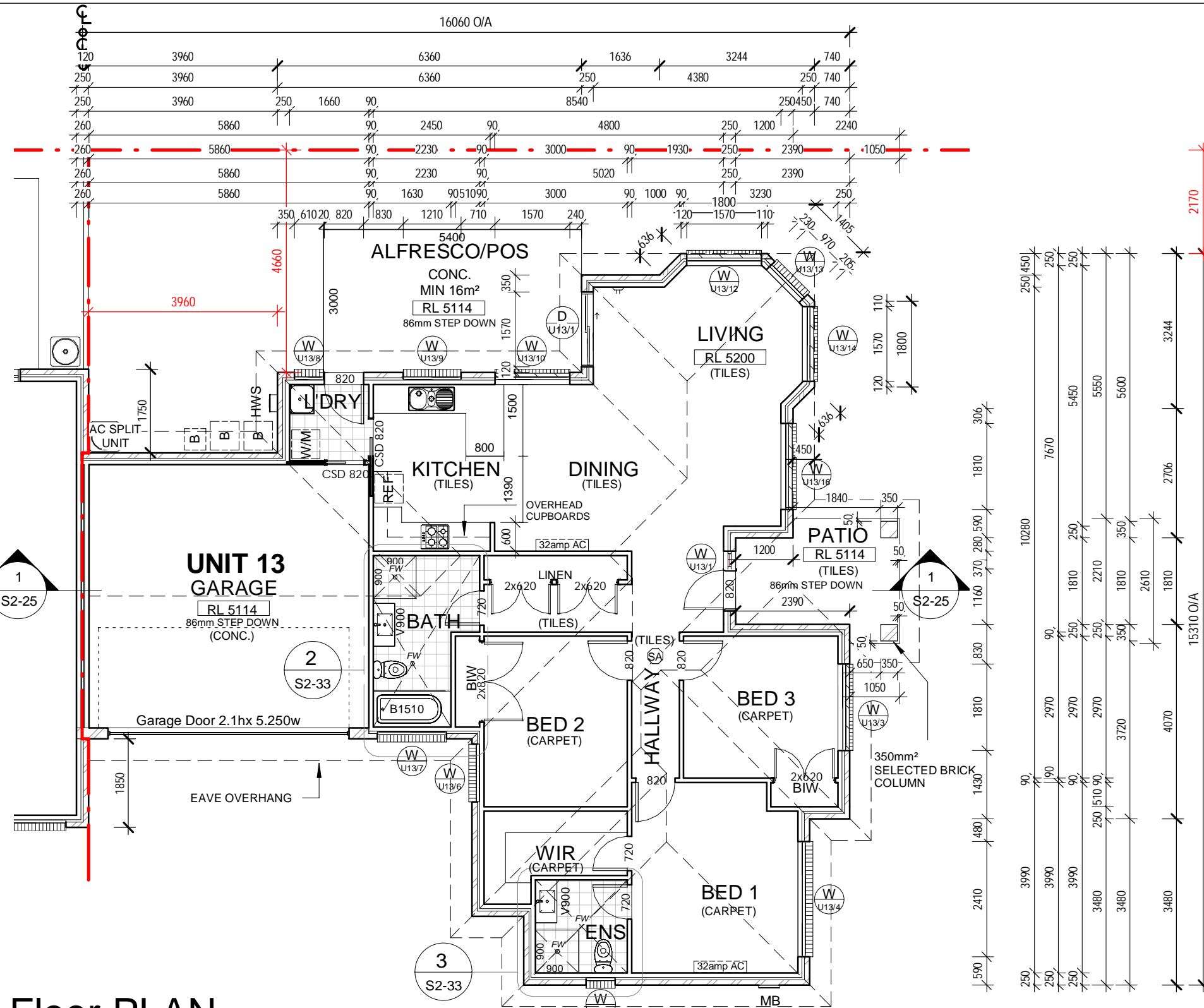
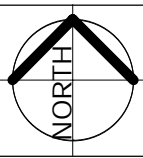
DRAWING: U8 & 9 Ground Floor Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.: S2-07



GENERAL CONSTRUCTION NOTES :-
(APPLICABLE TO ALL PLANS)

- ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- KITCHEN, BATHROOM, ENSUITE AND LAUNDRY TO OWNERS REQUIREMENTS.
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- ONLY APPARENT SERVICES HAVE BEEN LOCATED BY SURVEY. NO SEARCH OF PUBLIC UTILITIES OR SUB SURFACE INVESTIGATION HAS BEEN CARRIED OUT TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES SUCH AS TELSTRA, INTEGRAL ENERGY, GAS, WATER OR SEWER. SEE THE ATTACHED DIAL BEFORE YOU DIG CAUTION IN THIS PLAN SPACE. NO INVESTIGATION OF LOCATION OF ANY FOOTINGS OR FOUNDATIONS HAS BEEN CARRIED OUT.
- CONTOURS ARE INTERPOLATED FROM SPOT LEVELS AS SHOWN & SHOULD BE USED AS A GUIDE ONLY. DO NOT RE-INTERPOLATE CONTOURS.

LEGEND:-

| | | | |
|--------|------------------------|-------|-----------------------|
| (B) | - DOMESTIC WASTE BINS | (WM)* | - WASHING MACHINE |
| (RWT)* | - RAIN WATER TANK | (CJ) | - BRICK CONTROL JOINT |
| (HWS)* | - HOT WATER SYSTEM | (MT) | - MAINS WATER TAP |
| (CL)* | - CLOTHES LINE | (ET) | - ELECTRICITY TURRET |
| (MB) | - MAIL BOX | (GP) | - GRATED PIT |
| (EMB)* | - ELECTRICAL METER BOX | (MH) | - MAINTENANCE HOLE |
| (DP) | - DOWN PIPE | (TP) | - TELSTRA PIT |
| (SA) | - SMOKE ALARM | (WM) | - WATER METER |
| | | (SL) | - SKY LIGHT |

* ALL ITEMS TO BE INSTALLED & SUPPLIED IN ACCORDANCE WITH BASIX REQUIREMENTS.

U13 Ground Floor PLAN

1 : 100

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|-----|------|------|------|-----|------|-----|------|-----|
| 250 | 8030 | 250 | 3000 | 90 | 1000 | 90 | 3230 | 250 |
| 250 | 8030 | 250 | 3000 | 90 | 2830 | 90 | 1400 | 250 |
| 250 | 8030 | 250 | 3000 | 90 | 3480 | 250 | 840 | |
| 250 | 8030 | 250 | 990 | 90 | 1920 | 90 | 3480 | 250 |
| 250 | 8030 | 250 | 1080 | 250 | 1920 | 90 | 3480 | 250 |
| 120 | 8030 | 1080 | | | | | 5990 | 840 |

| AMENDMENTS: | | | DWN: |
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GENERAL NOTES:

- Dimensions in preference to scale
- All ground lines are approximate
- Window & Door sizes as shown - Nominal
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
- Wind Rating refer to framing manufacturer's specification

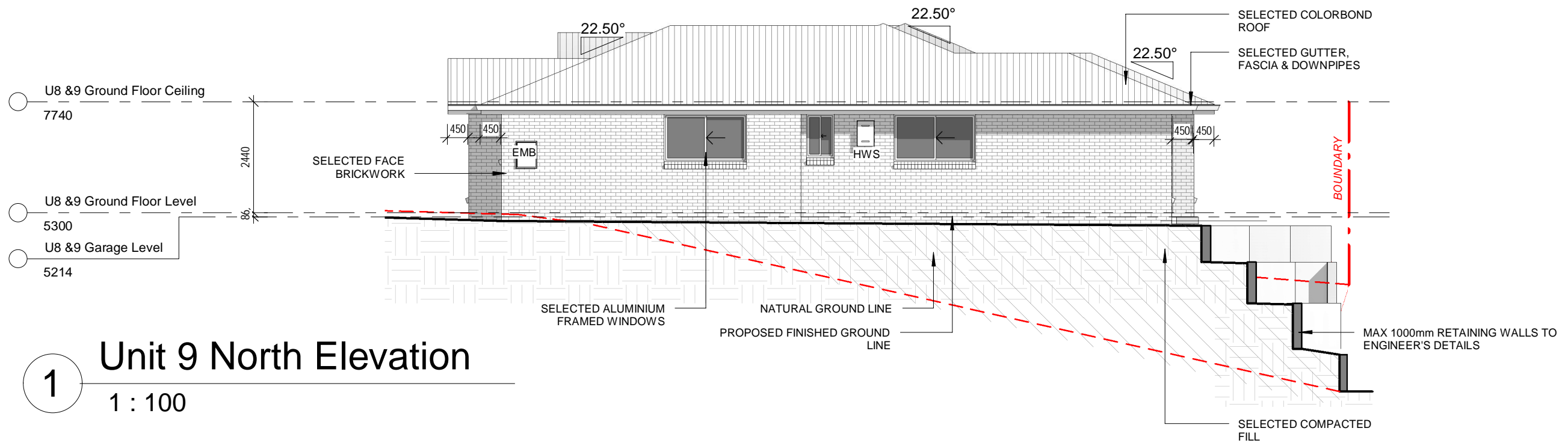
DRAWING: U13 Ground Floor Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

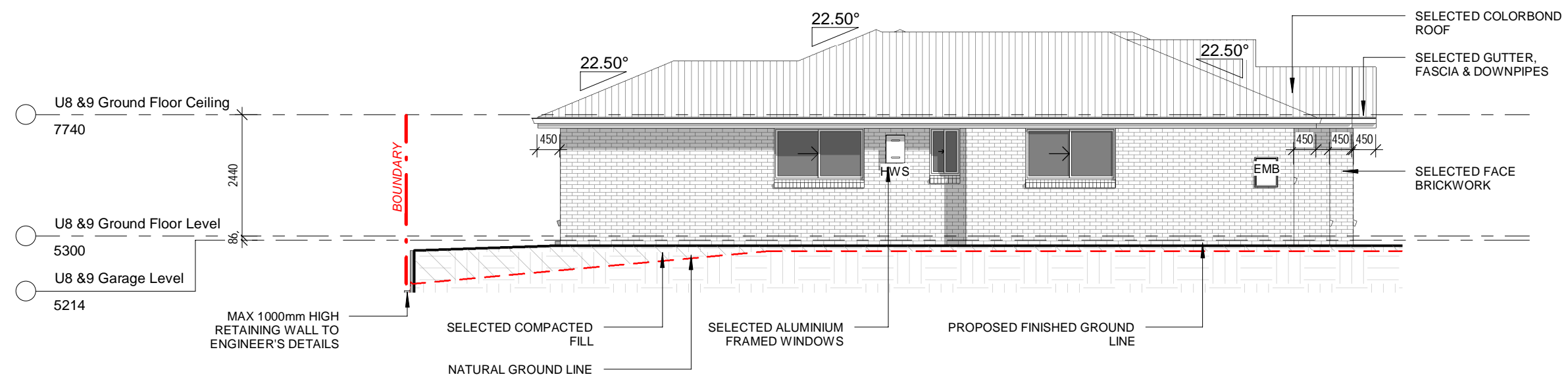
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.:
S2-12



1 Unit 9 North Elevation
1 : 100



2 Unit 8 South Elevation
1 : 100

NOTE:
 - ALL RETAINING WALL RLs TO BE CONFIRMED ON SITE BY CIVIL ENGINEER
 - ALL RLs TO BE IN ACCORDANCE WITH CIVIL PLANS. PLEASE REFER TO CIVIL PLANS

| AMENDMENTS: | | | DWN: |
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| No: | DATE: | COMMENTS: | |
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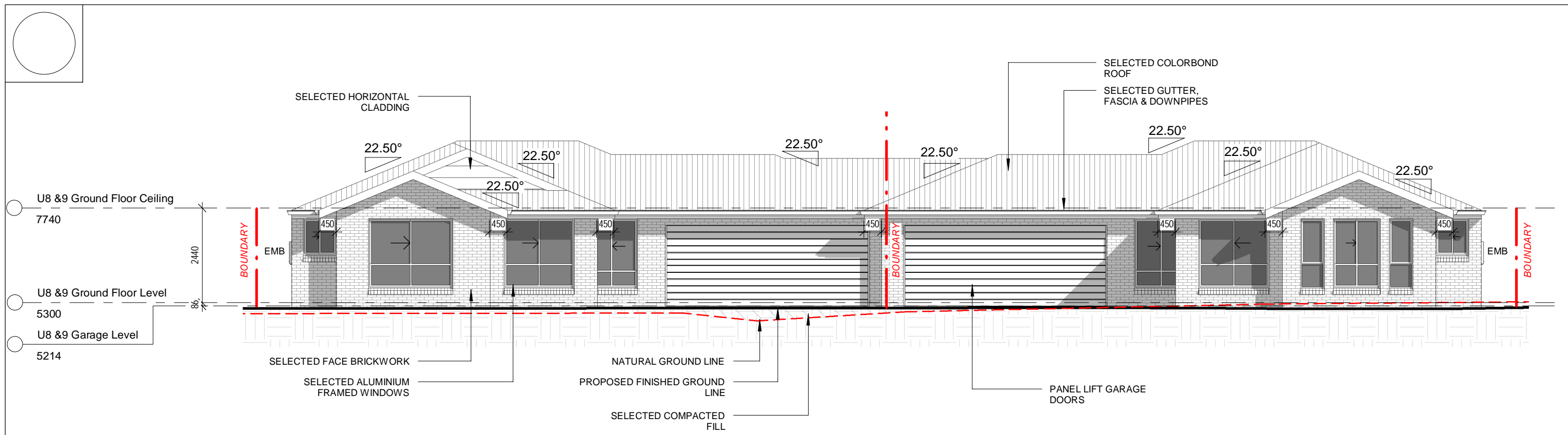
DRAWING: U8 & 9 Elevations
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

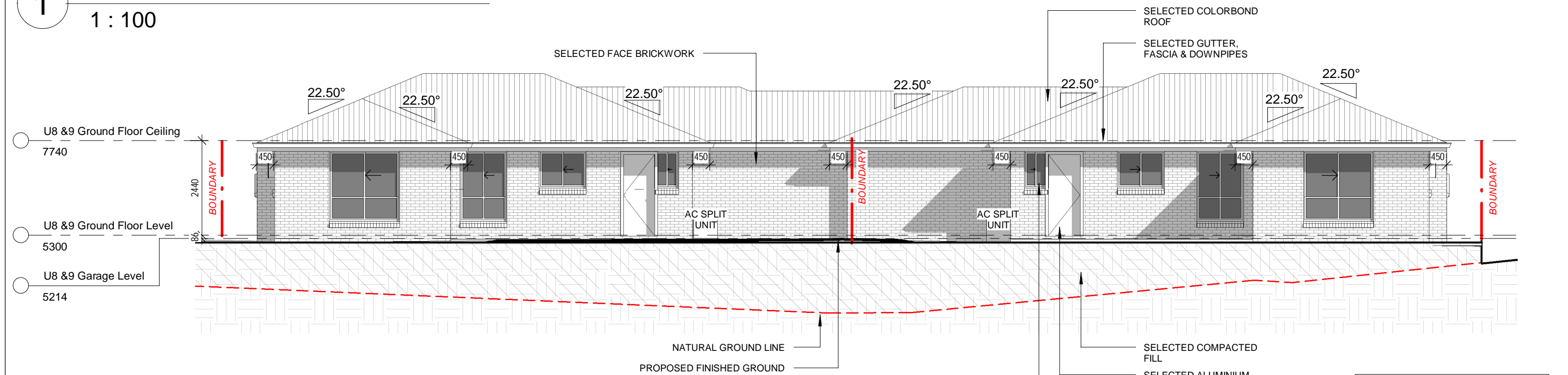
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.: S2-13



1 Unit 8 & 9 East Elevation
1 : 100



2 Unit 8 & 9 West Elevation
1 : 100

NOTE:
 - ALL RETAINING WALL RLs TO BE CONFIRMED ON SITE BY CIVIL ENGINEER
 - ALL RLs TO BE IN ACCORDANCE WITH CIVIL PLANS. PLEASE REFER TO CIVIL PLANS

| AMENDMENTS: | | | DWN: |
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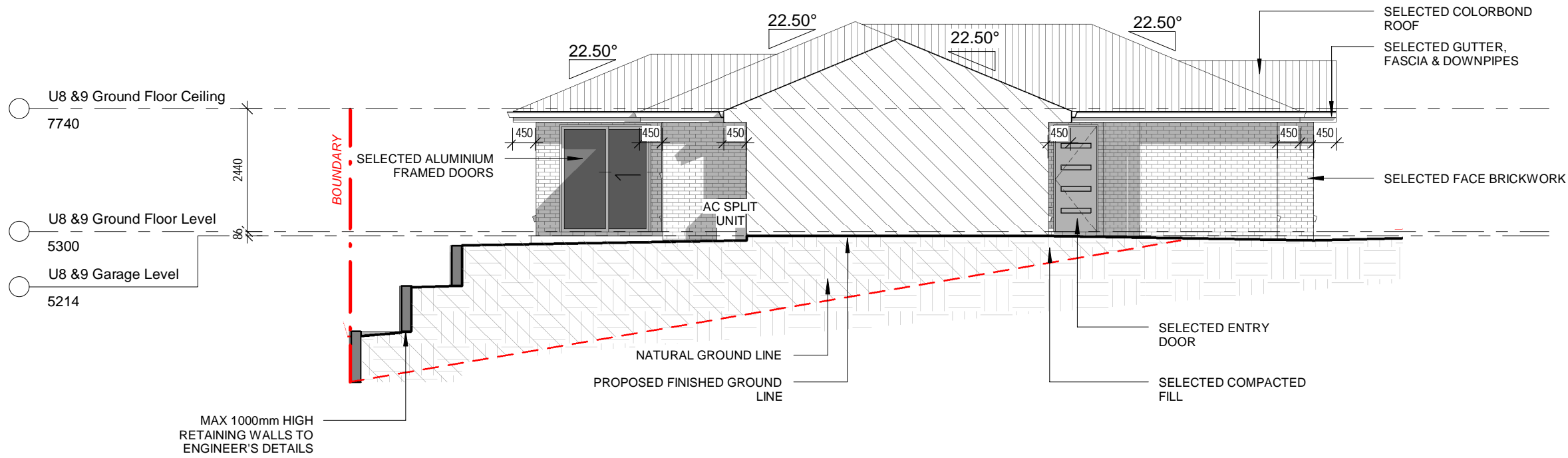
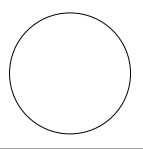
DRAWING: U8 & 9 Elevations
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

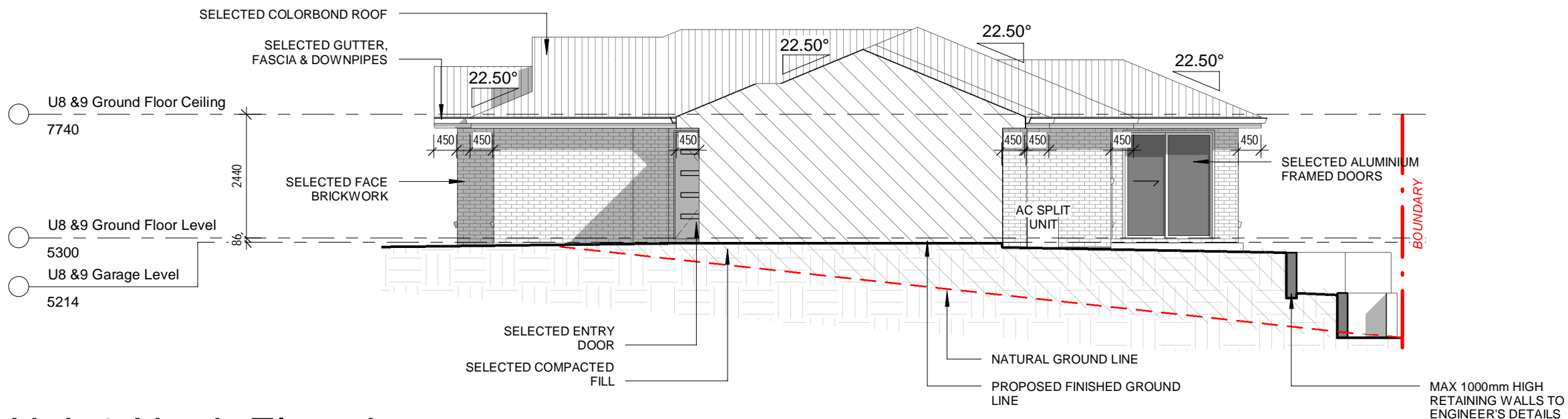
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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1 Unit 9 South Elevation
1 : 100



2 Unit 8 North Elevation
1 : 100

NOTE:
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 - ALL RLs TO BE IN ACCORDANCE WITH CIVIL PLANS. PLEASE REFER TO CIVIL PLANS

| AMENDMENTS: | | | DWN: |
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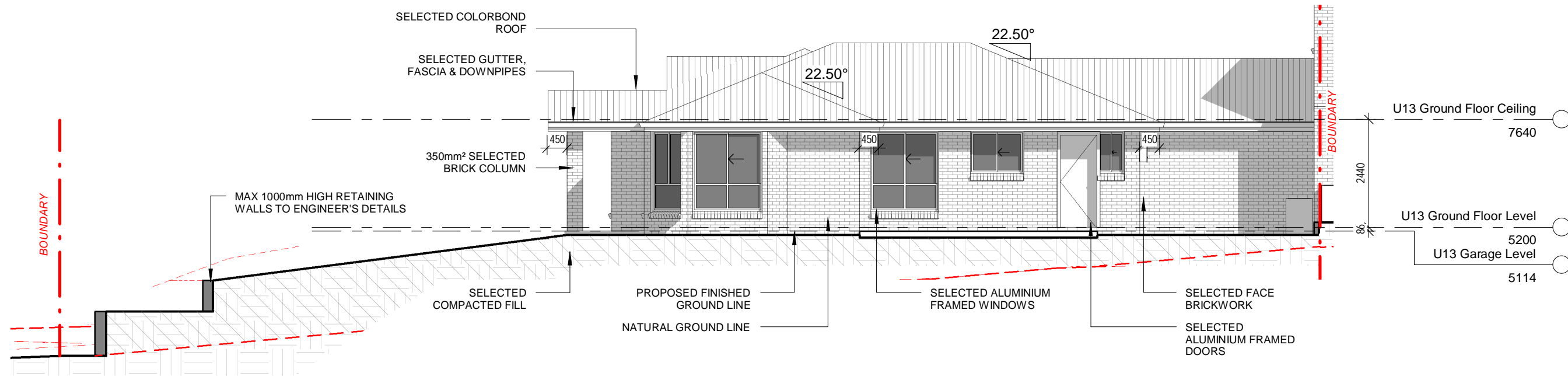
DRAWING: U8 & 9 Elevations
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

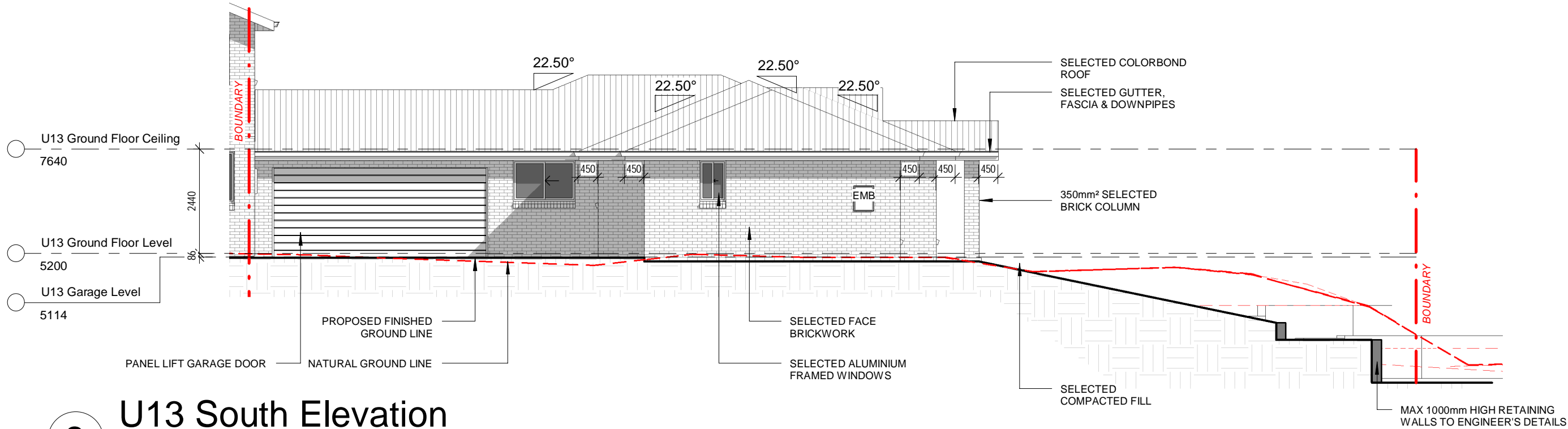
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.: S2-15



1 U13 North Elevation
1 : 100



2 U13 South Elevation
1 : 100

NOTE:
 - ALL RETAINING WALL RLs TO BE CONFIRMED ON SITE BY CIVIL ENGINEER
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| AMENDMENTS: | | | DWN: |
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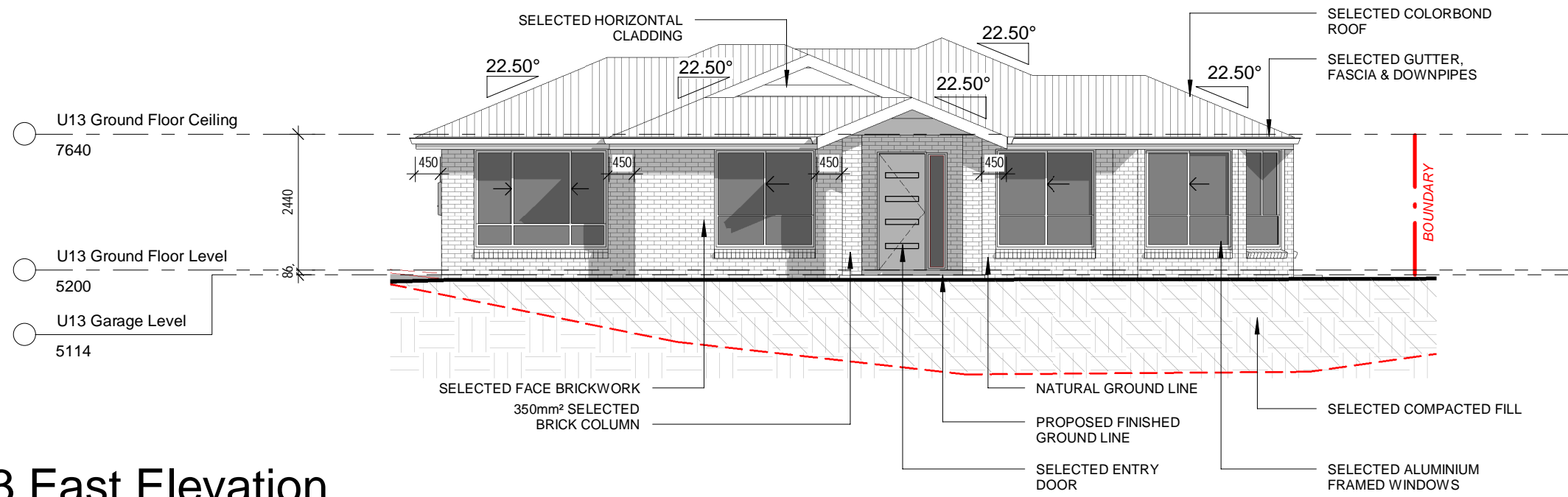
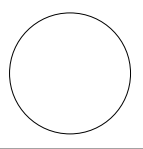
DRAWING: U13 Elevations
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

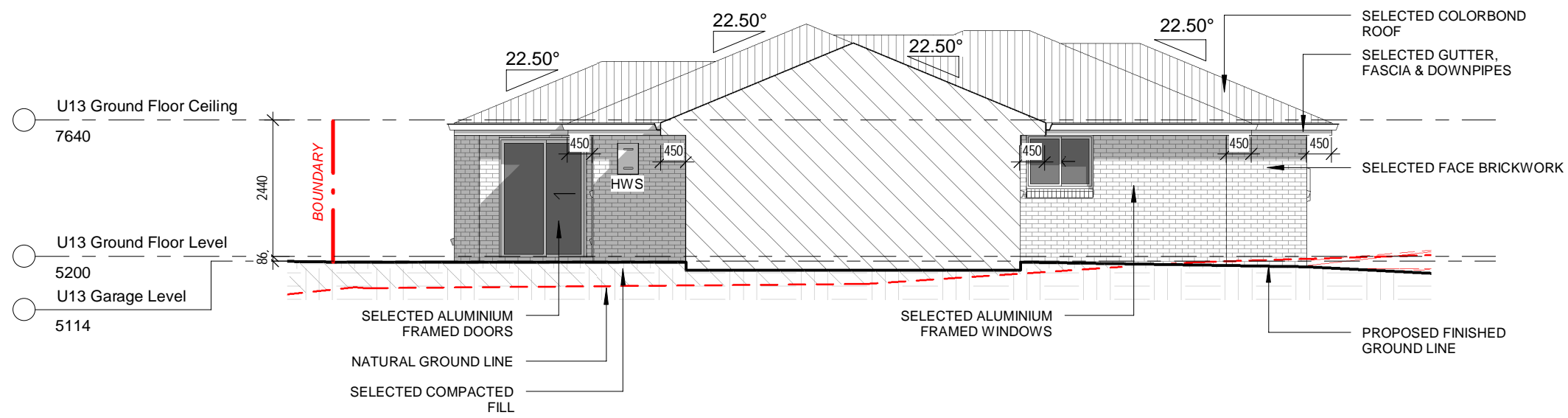
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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1 U13 East Elevation
1 : 100



2 U13 West Elevation
1 : 100

NOTE:
 - ALL RETAINING WALL RLs TO BE CONFIRMED ON SITE BY CIVIL ENGINEER
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| AMENDMENTS: | | | DWN: |
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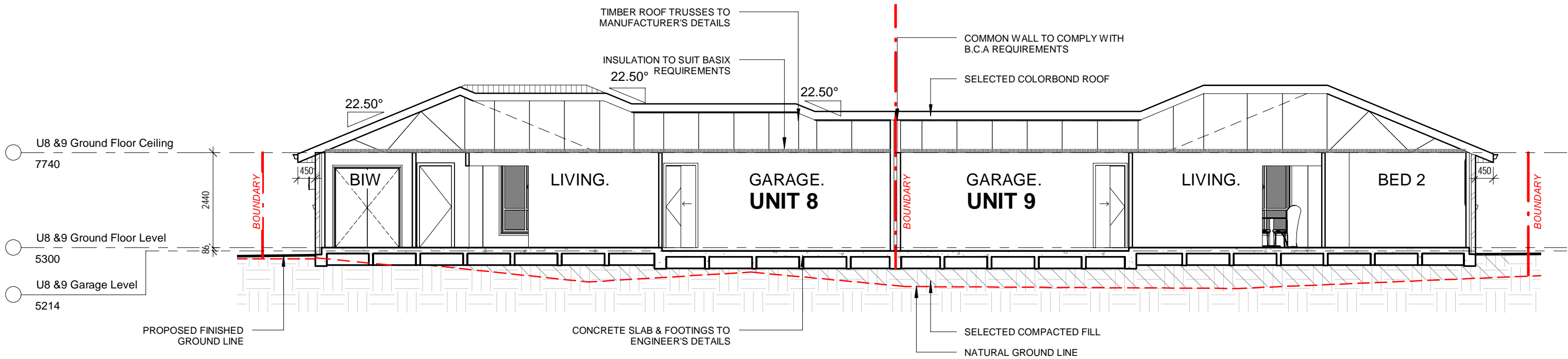
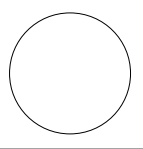
DRAWING: U13 Elevations
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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1 U8 & 9 Section
1 : 100

| AMENDMENTS: | | | DWN: |
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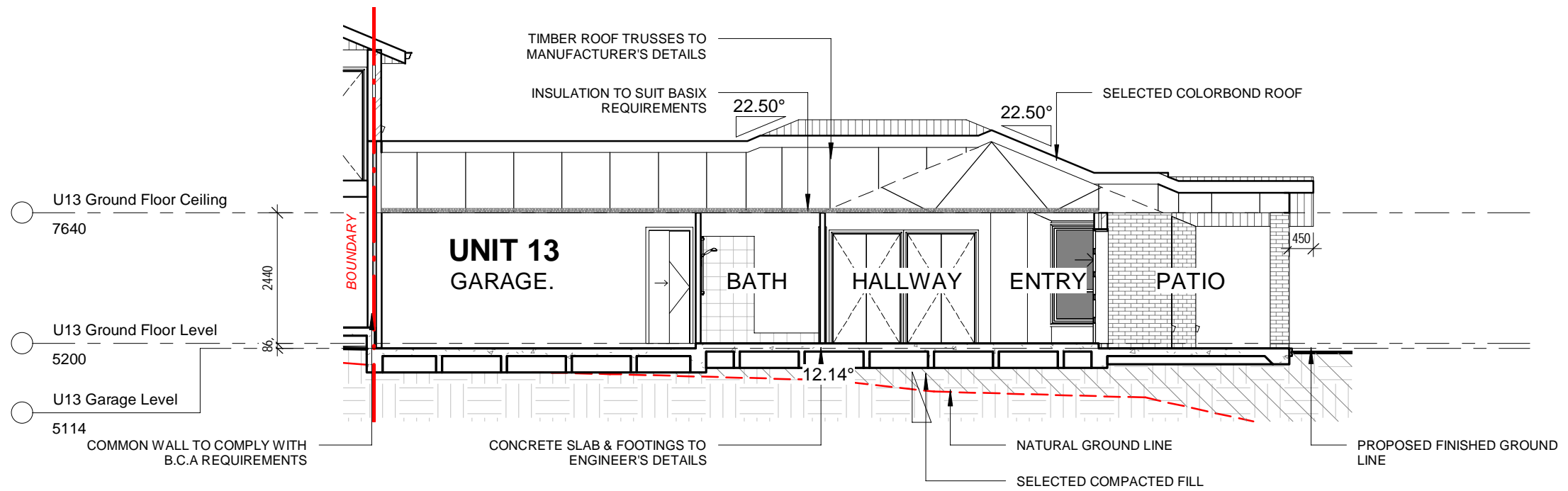
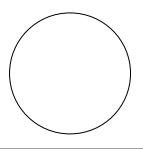
DRAWING: U8 & 9 Section
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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1 U13 Section
1 : 100

| AMENDMENTS: | | | DWN: |
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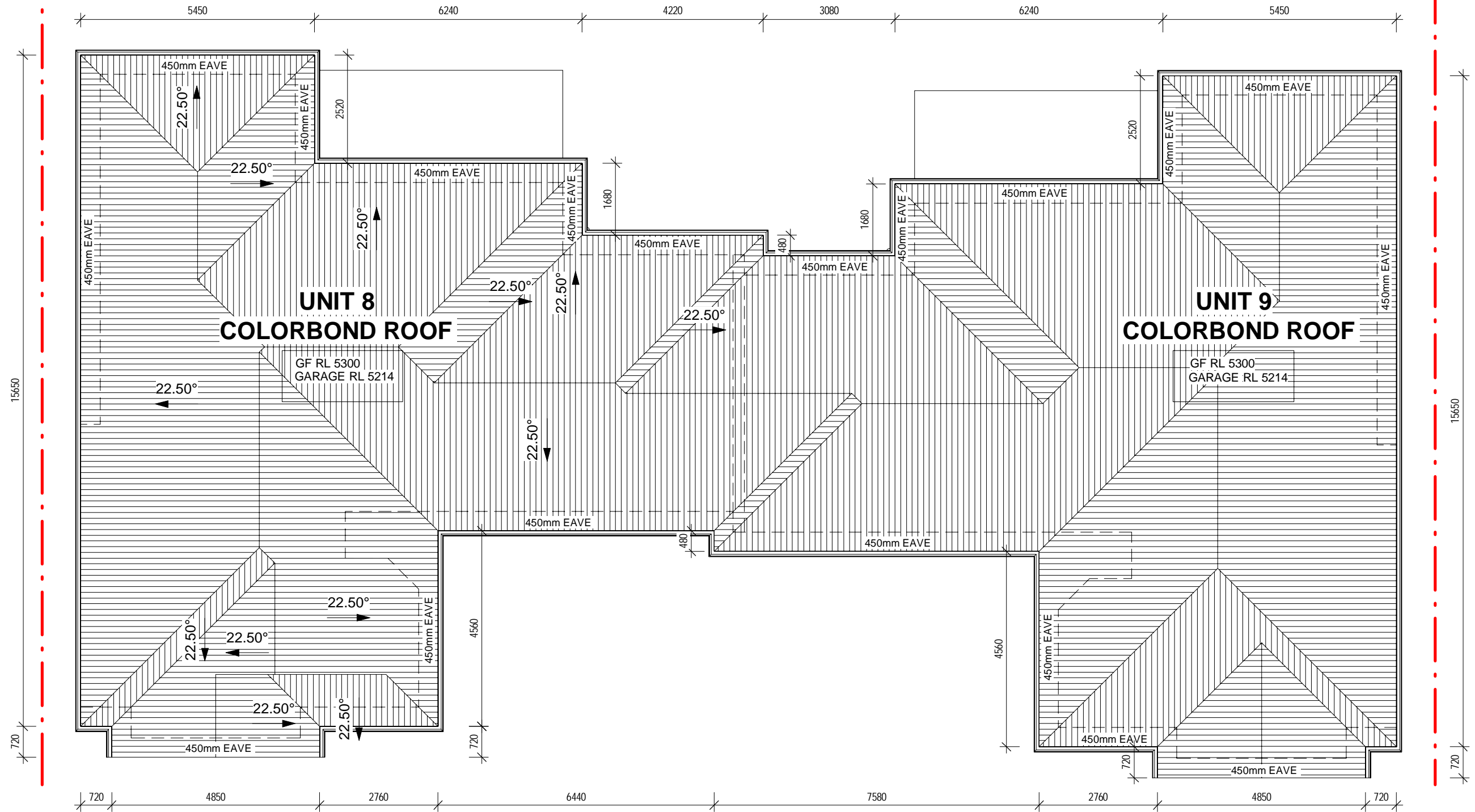
DRAWING: U13 Section
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.: S2-25



U8 & 9 Roof Plan

1

1 : 100

NOTE:

- LOCATION OF DOWNPIPES TO STORMWATER DETAILS PROVIDED BY ENGINEER
- ALL REQUIRED BEAMS TO ENGINEER'S DETAILS
- ALL BOX GUTTERS TO MANUFACTURER'S DETAILS
- CONFIRM ALL DIMENSIONS ON SITE

| AMENDMENTS: | | | DWN: |
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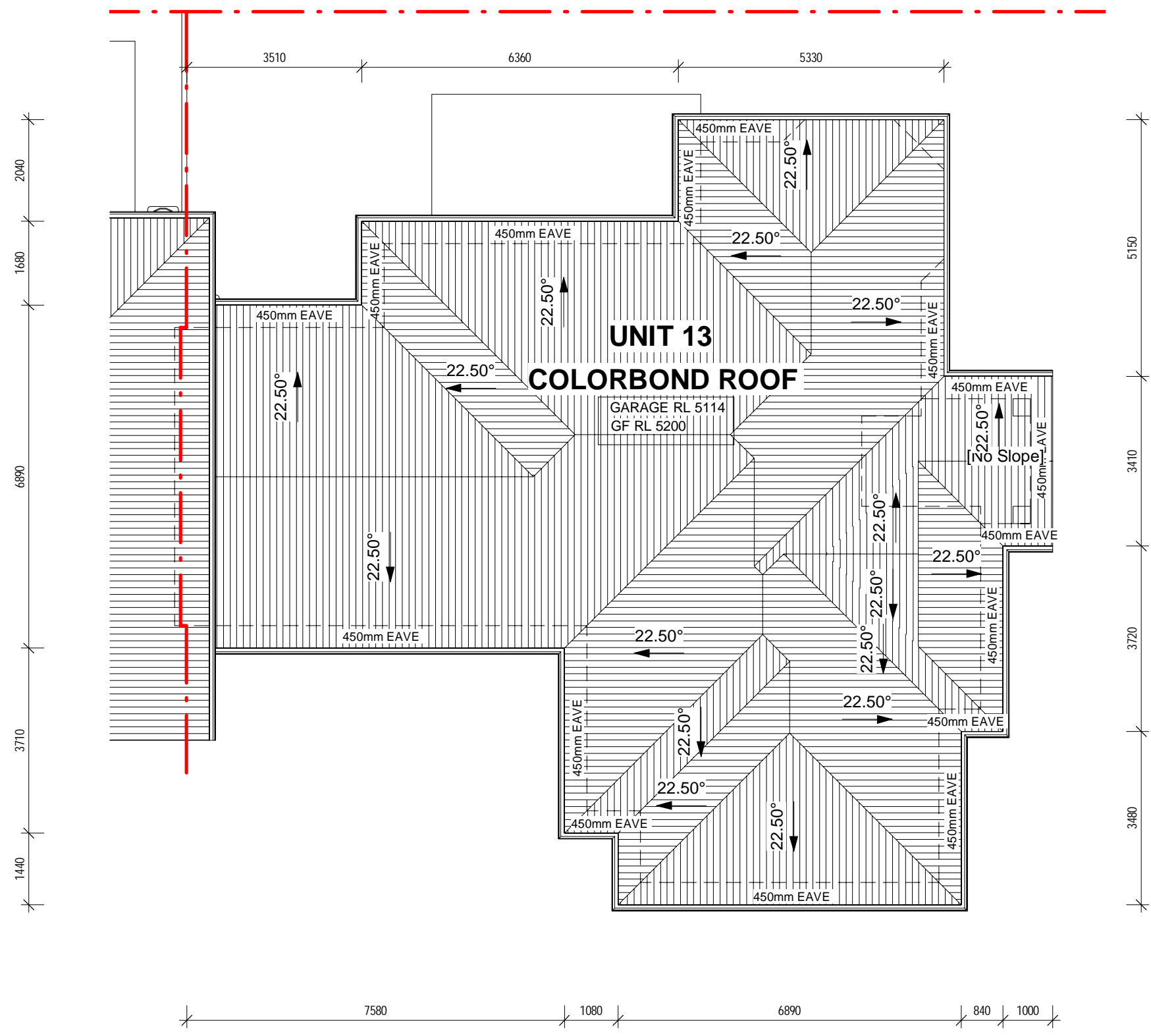
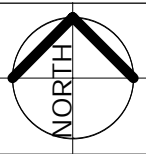
DRAWING: U8 & 9 Roof Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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PAGE No.: S2-26



1 U13 Roof Plan
1 : 100

NOTE:

- LOCATION OF DOWNPIPES TO STORMWATER DETAILS PROVIDED BY ENGINEER
- ALL REQUIRED BEAMS TO ENGINEER'S DETAILS
- ALL BOX GUTTERS TO MANUFACTURER'S DETAILS
- CONFIRM ALL DIMENSIONS ON SITE

| AMENDMENTS: | | | DWN: |
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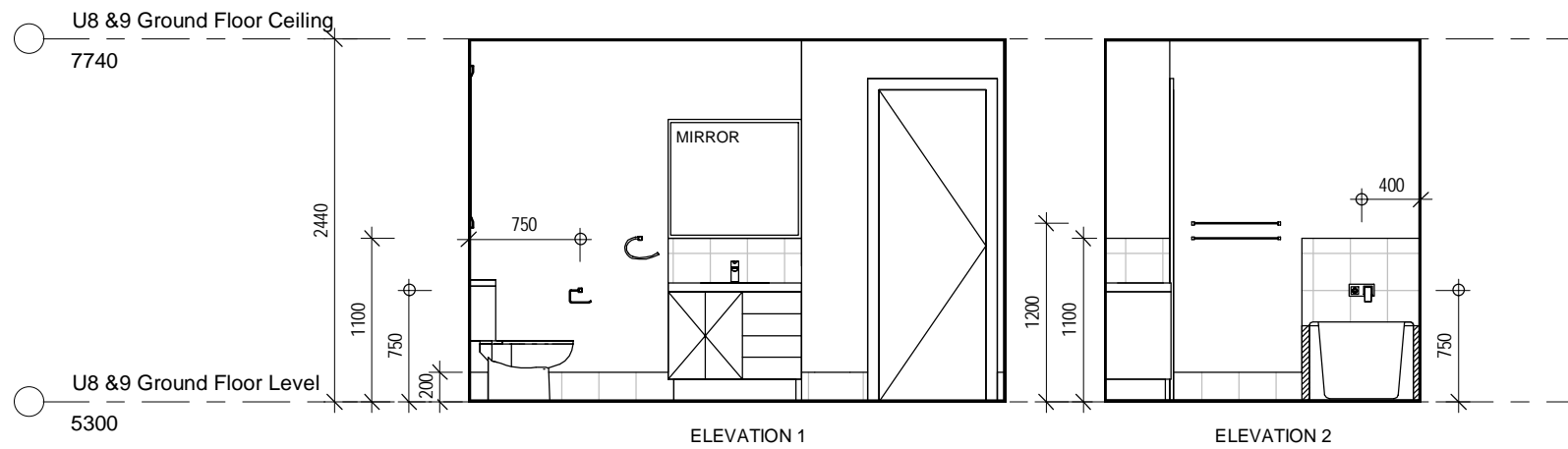
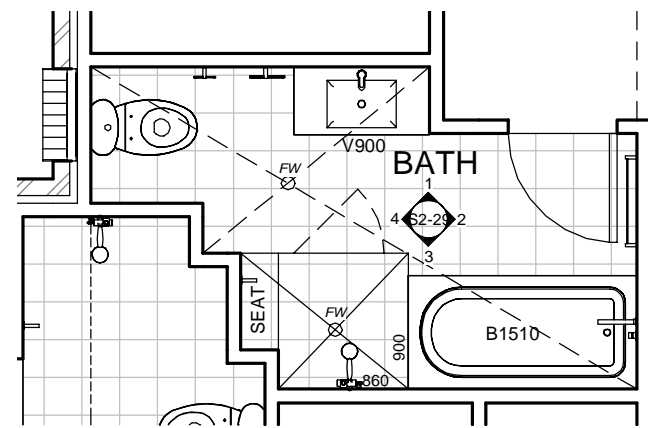
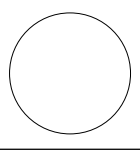
DRAWING: U13 Roof Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 100

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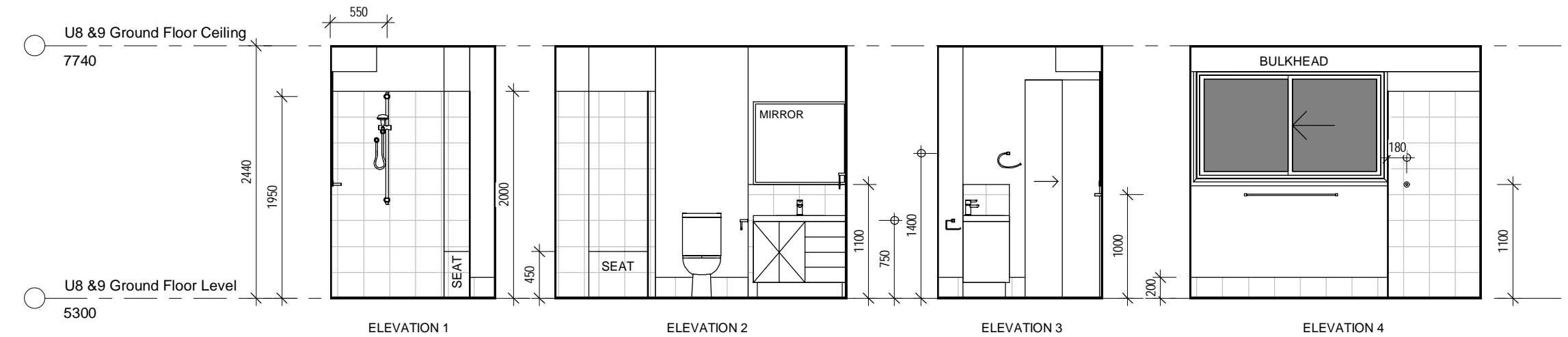
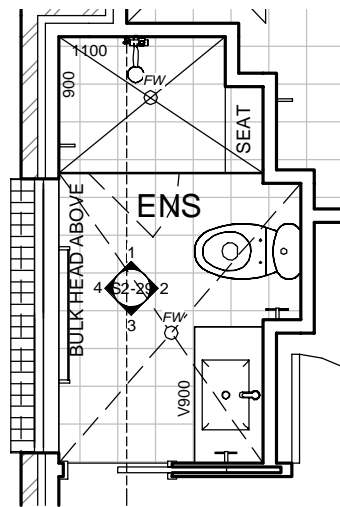
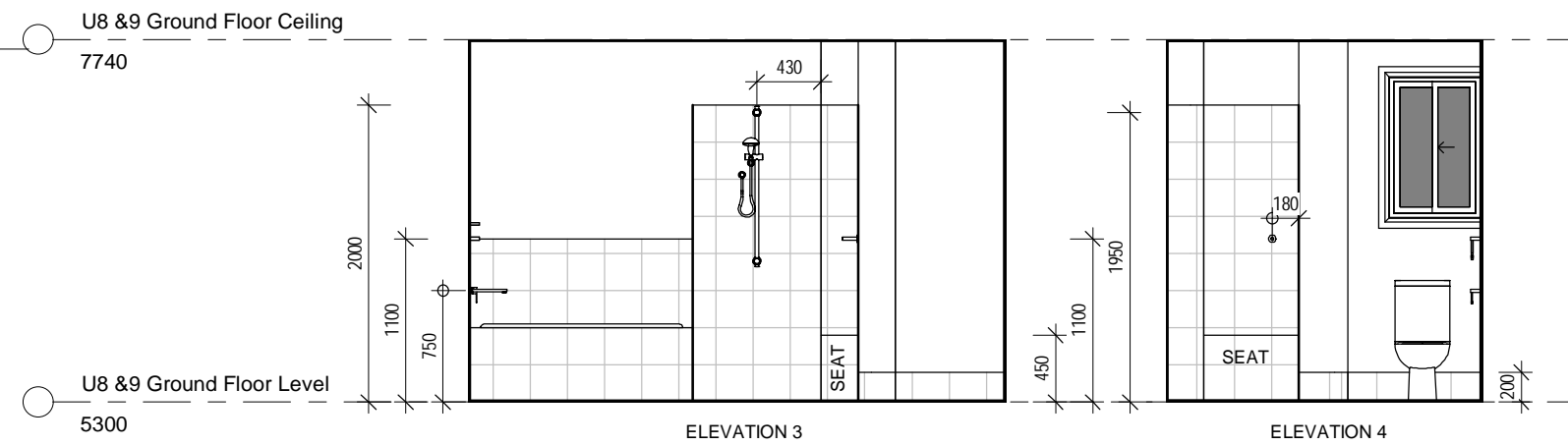
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 BUILDING DESIGNERS AUSTRALIA
PAGE No.: S2-28



U8 Bathroom Plan

1

1 : 50



U8 Ensuite Plan

2

1 : 50

NOTE:
 - ALL DIMENSIONS SHOWN ON WET AREAS ARE NOMINAL.
 - ALL DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER AND/OR PLUMBER

| AMENDMENTS: | | | DWN: |
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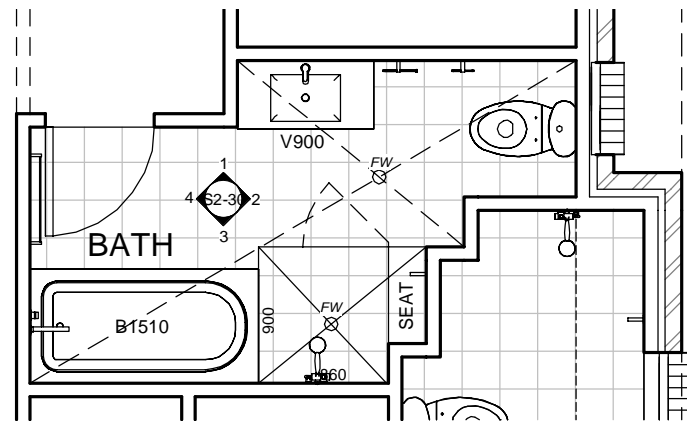
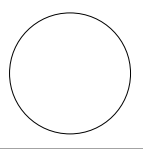
DRAWING: Unit 8 Wet Area Details
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: As indicated

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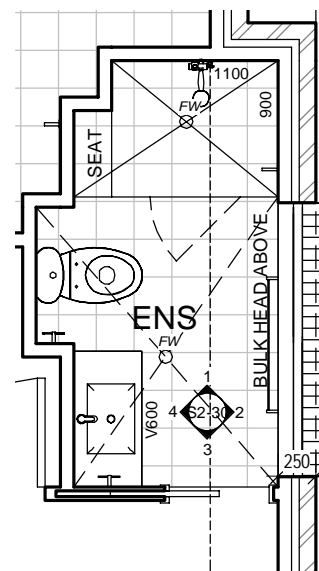
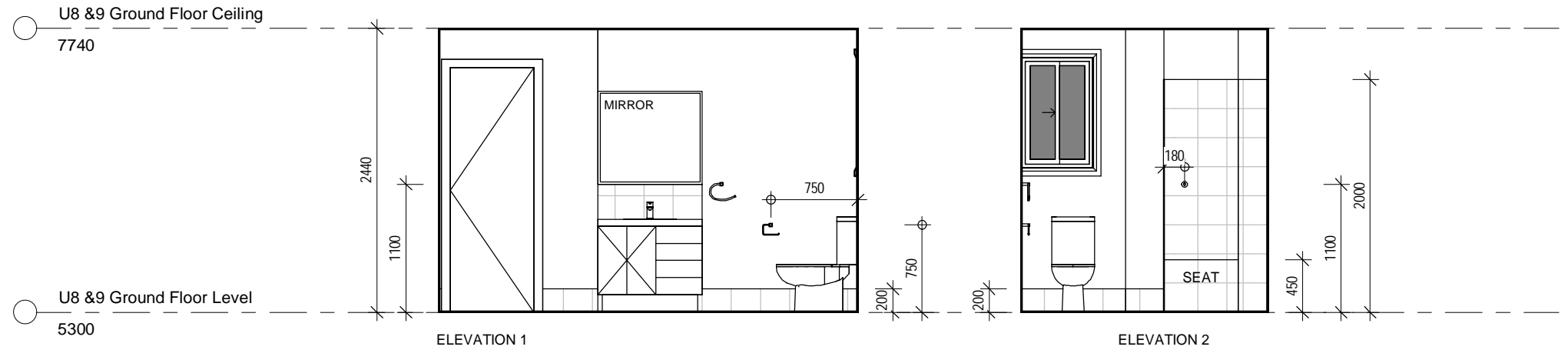
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PAGE No.: S2-29



U9 Bathroom Plan

1

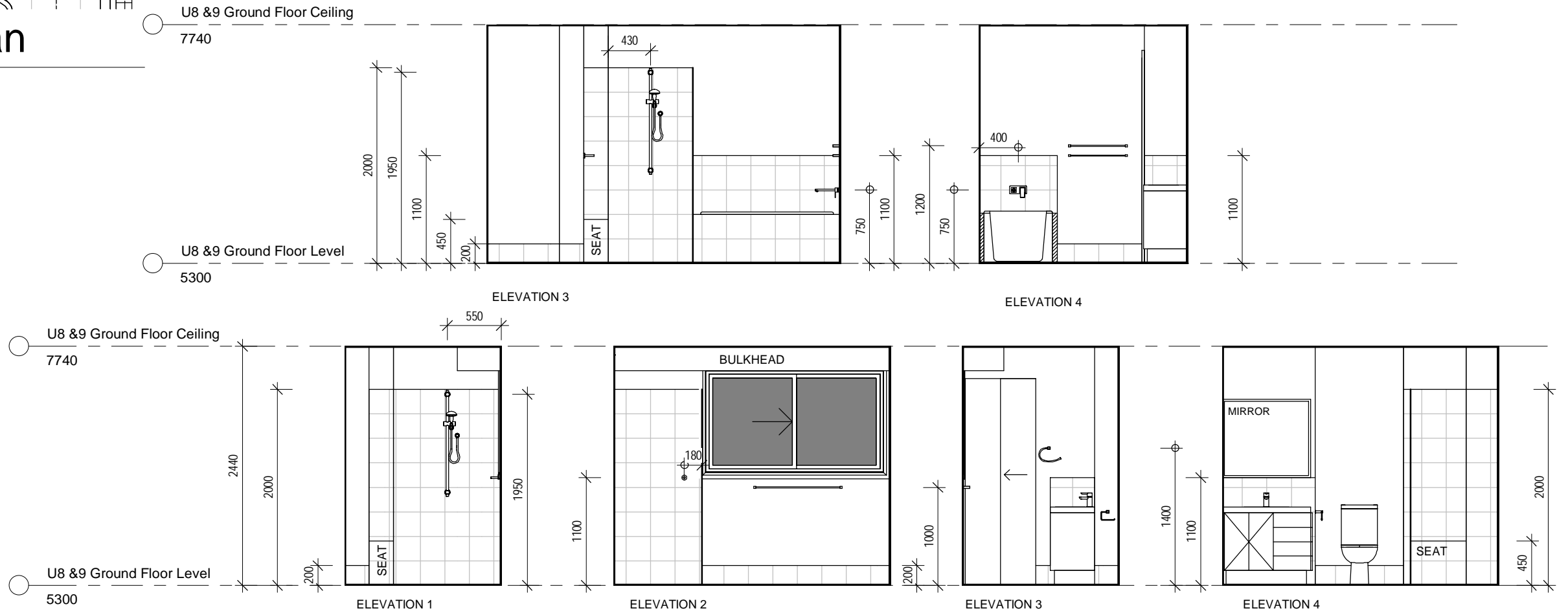
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U9 Ensuite Plan

2

1 : 50



NOTE:
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| AMENDMENTS: | | | DWN: |
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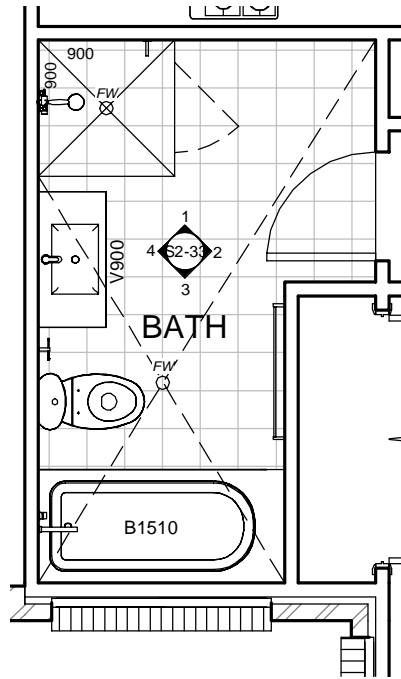
DRAWING: Unit 9 Wet Area Details
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

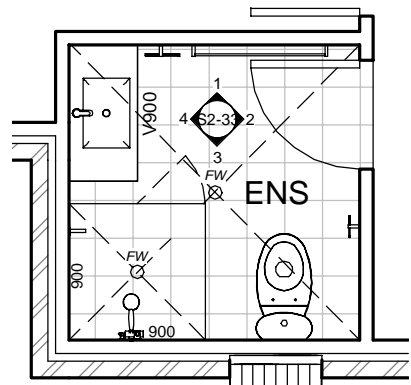
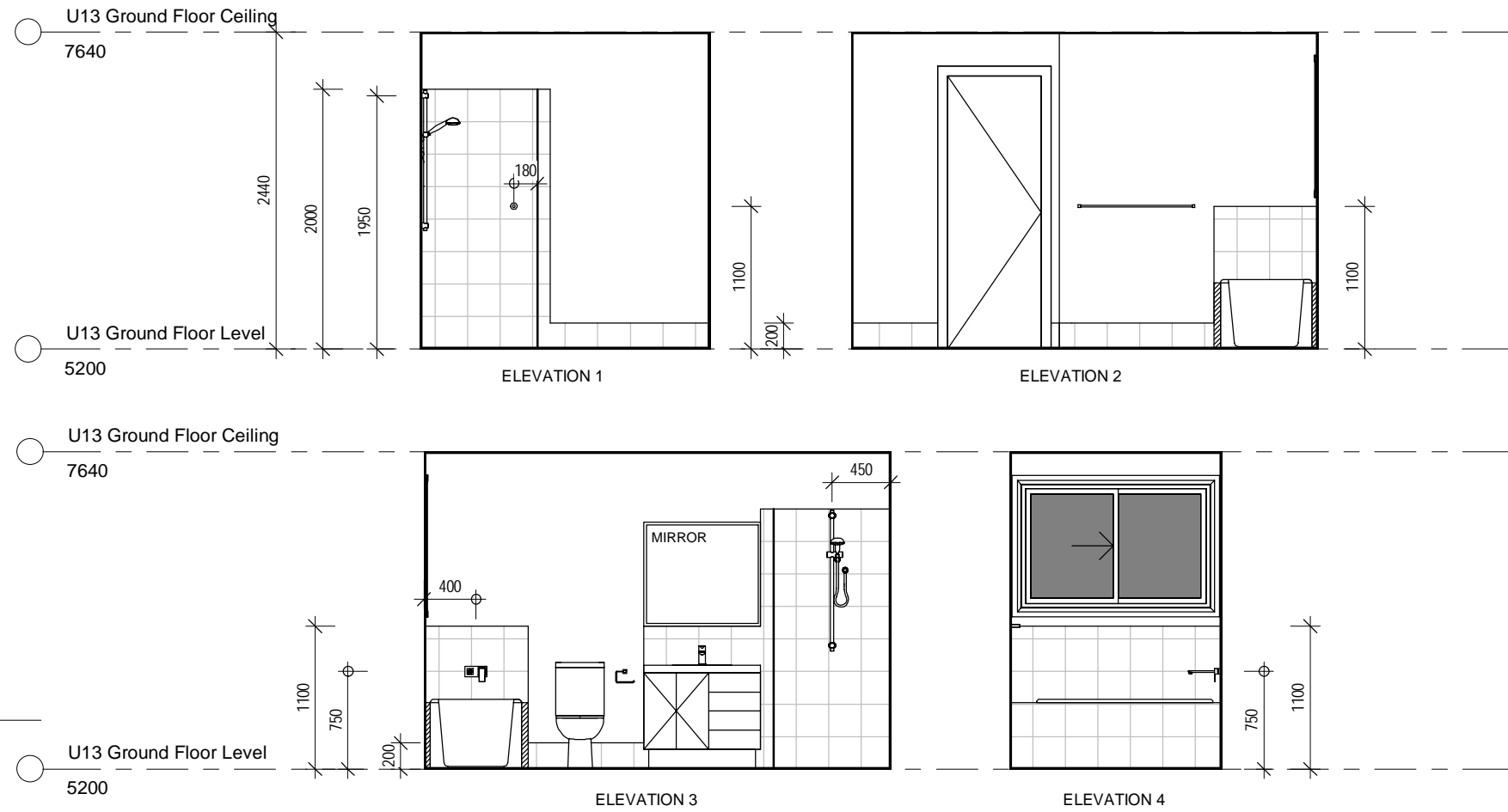
JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: As indicated

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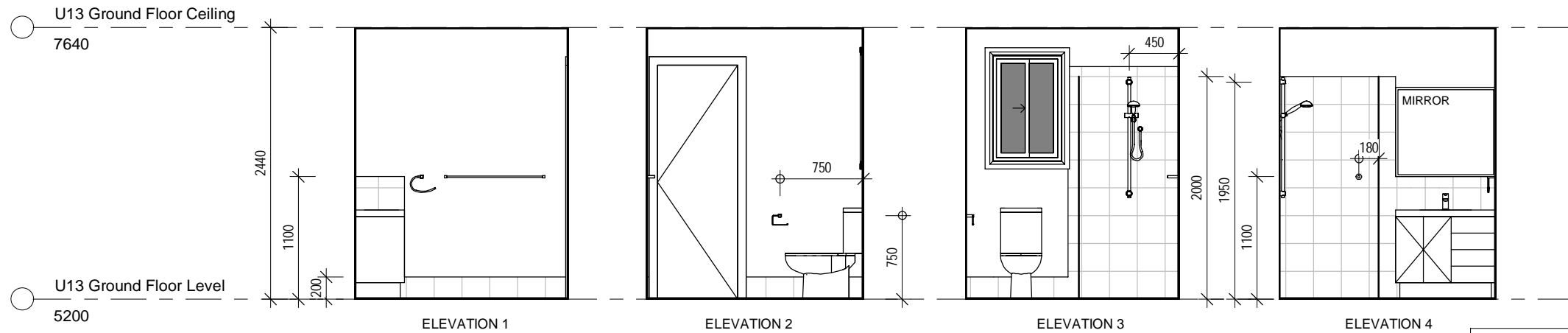
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PAGE No.: S2-30



2 U13 Bathroom Plan
1 : 50



3 U13 Ensuite Plan
1 : 50



NOTE:
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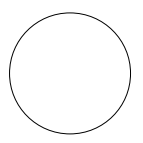
DRAWING: U13 Wet Area Details
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: As indicated

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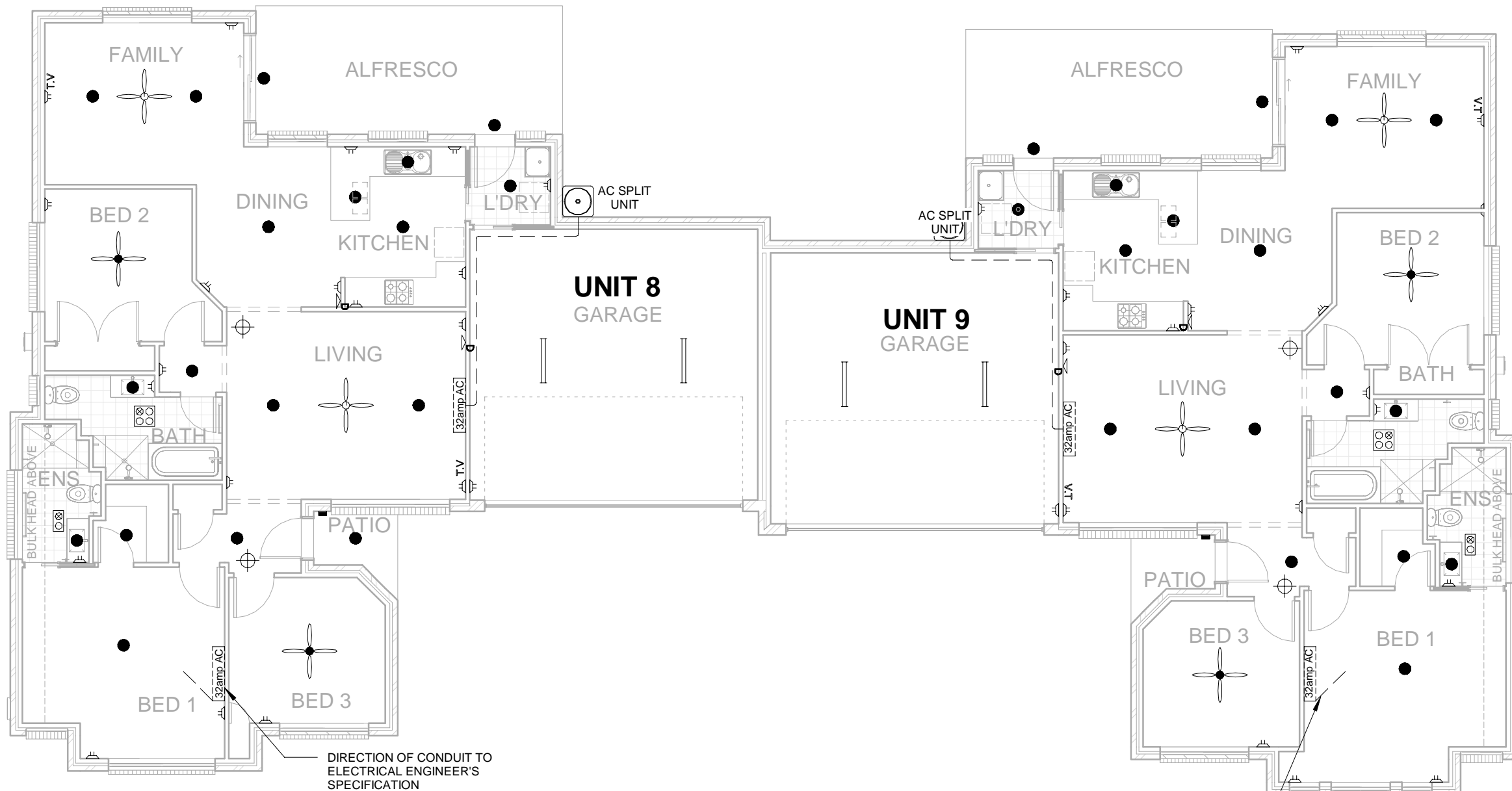
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BUILDING DESIGNERS AUSTRALIA
PAGE No.: S2-33



| Unit 8 & 9 Electrical Schedule | |
|--------------------------------|----------|
| Type | Quantity |
| Unit 8 | |
| 2 IN 1 IXL TASTIC | 1 |
| 4 IN 1 IXL TASTIC | 1 |
| BATTEN FLURO | 2 |
| CEILING FAN | 2 |
| CEILING FAN & LIGHT | 2 |
| DATA POINT | 2 |
| DOOR BELL | 1 |
| DOUBLE POWER POINT | 20 |
| DOWNLIGHT | 18 |
| SMOKE DETECTORS | 2 |
| TELEVISION POINT | 2 |

| Unit 8 & 9 Electrical Schedule | |
|--------------------------------|----------|
| Type | Quantity |
| Unit 9 | |
| 2 IN 1 IXL TASTIC | 1 |
| 4 IN 1 IXL TASTIC | 1 |
| BATTEN FLURO | 2 |
| CEILING FAN | 2 |
| CEILING FAN & LIGHT | 2 |
| DATA POINT | 2 |
| DOOR BELL | 1 |
| DOUBLE POWER POINT | 20 |
| DOWNLIGHT | 18 |
| SMOKE DETECTORS | 2 |
| TELEVISION POINT | 2 |

| Symbol | Description |
|-----------|-------------------------|
| ○ | Ceiling Light |
| ● | Down Light |
| ◐ | External Wall Light |
| ◑ | Internal Wall Light |
| ⊗ | Pendant (Hanging) Light |
| ⊗ | IXL Tastic |
| ▬ | Batten Fluro |
| ⊙ | Round Fluro |
| ◑ | Sensor Light (soffit) |
| ⊕ | Quad Power Point |
| ⊕ | Single Power Point |
| ⊕ | Double Power Point |
| ⊕ | Double W/Proof |
| ⊕ | Single W/Proof |
| T.V | T.V. Point |
| ph | Phone Point |
| ⊕ | T.V. Antenna & Booster |
| D.W | Dishwasher Point |
| R.H | Ranghood Point |
| M.W | Microwave Point |
| S.P | Spa Pump Point |
| E | Exhaust Fan |
| ⊕ | Ceiling Fan |
| ⊕ | Ceiling Fan & Light |
| ⊕ | Meter Box |
| Gas HWS | Rheem Integrity 24 HWS |
| ⊕ | Smoke Detectors |
| ds | Dimmer Switch |
| 2 way | Two way switch |
| 32 amp AC | 32 amp A/C Point |
| ■ | Door Bell |
| ⊗ | IXL Tastic (2 globe) |



1 U8 & 9 Electrical Plan
1 : 100

NOTE:
- ALL ELECTRICAL FITTINGS TO BE CONFIRMED ON SITE BY BUILDER AND/OR ELECTRICIAN

| AMENDMENTS: | | |
|-------------|-------|-----------|
| No: | DATE: | COMMENTS: |
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GENERAL NOTES:
 - Dimensions in preference to scale
 - All ground lines are approximate
 - Window & Door sizes as shown - Nominal
 - All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
 - Wind Rating refer to framing manufacturer's specification

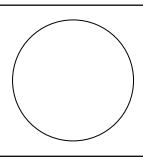
DRAWING: U8 & 9 Electrical Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

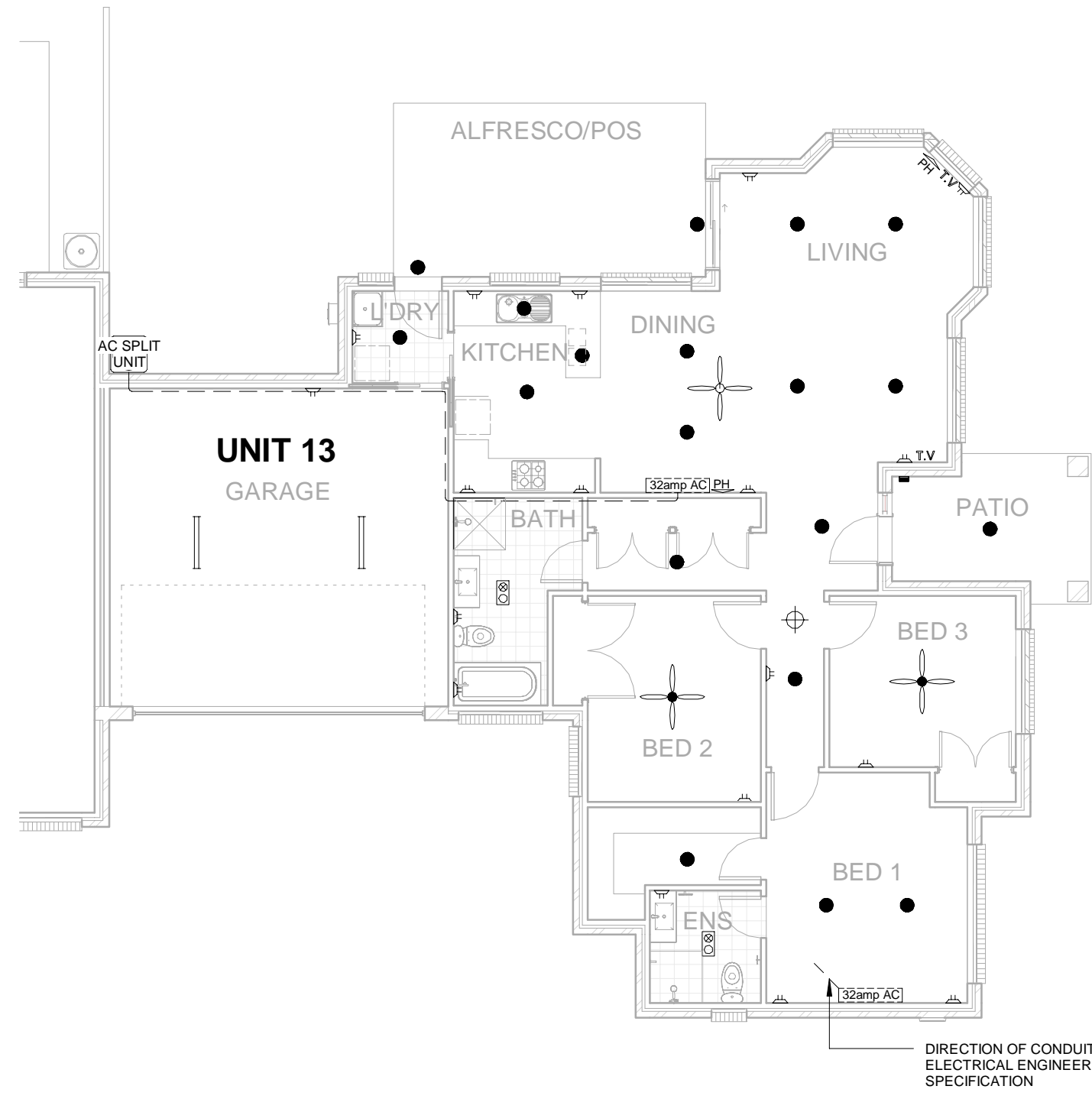
JOB No.: 00472019
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DRAWN: J.H
SCALE: As indicated

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| Unit 13 Electrical Schedule | |
|-----------------------------|----------|
| Type | Quantity |
| Unit 13 | |
| 2 IN 1 IXL TASTIC | 2 |
| BATTEN FLURO | 2 |
| CEILING FAN | 1 |
| CEILING FAN & LIGHT | 2 |
| DOOR BELL | 1 |
| DOUBLE POWER POINT | 18 |
| DOWNLIGHT | 19 |
| SMOKE DETECTORS | 1 |
| TELEPHONE POINT | 2 |
| TELEVISION POINT | 2 |



| Symbol | Description |
|-----------|-------------------------|
| ○ | Ceiling Light |
| ● | Down Light |
| ◐ | External Wall Light |
| ◑ | Internal Wall Light |
| ⊗ | Pendant (Hanging) Light |
| ⊗ | IXL Tastic |
| ▬ | Batten Fluro |
| ⊙ | Round Fluro |
| ▽ | Sensor Light (soffit) |
| ⊕ | Quad Power Point |
| ⊕ | Single Power Point |
| ⊕ | Double Power Point |
| ⊕ | Double W/Proof |
| ⊕ | Single W/Proof |
| T.V | T.V.Point |
| ph | Phone Point |
| ⊕ | T.V Antenna & Booster |
| D.W | Dishwasher Point |
| R.H | Rangehood Point |
| M.W | Microwave Point |
| S.P | Spa Pump Point |
| E | Exhaust Fan |
| ⊕ | Ceiling Fan |
| ⊕ | Ceiling Fan & Light |
| ▭ | Meter Box |
| Gas HWS | Rheem Integrity 24 HWS |
| ⊕ | Smoke Detectors |
| ● ds | Dimmer Switch |
| 2 way | Two way switch |
| 32 amp AC | 32 amp A/C Point |
| ■ | Door Bell |
| ⊗ | IXL Tastic (2 globe) |

1 U13 Ground Floor Electrical Plan

1 : 100

NOTE:
 - ALL ELECTRICAL FITTINGS TO BE CONFIRMED ON SITE BY BUILDER AND/OR ELECTRICIAN

| AMENDMENTS: | | | DWN: |
|-------------|-------|-----------|------|
| No: | DATE: | COMMENTS: | |
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GENERAL NOTES:
 - Dimensions in preference to scale
 - All ground lines are approximate
 - Window & Door sizes as shown - Nominal
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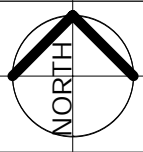
DRAWING: U13 Electrical Plans
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: As indicated

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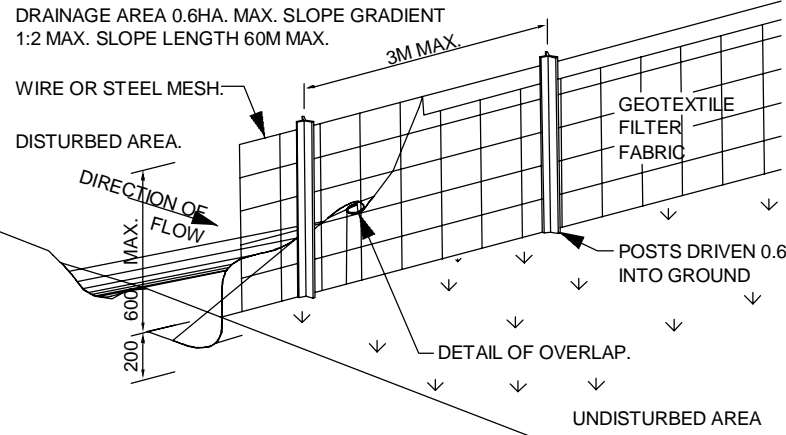


WASTE SCHEDULE

| MATERIALS ON-SITE | | DESTINATION | | | |
|----------------------|---------------------------------|--|--|---------------------------------------|---|
| TYPE OF MATERIAL | ESTIMATED VOLUME m ³ | RE-USE AND RECYCLE | | DISPOSAL | CONTACT DETAILS |
| | | ON-SITE METHOD OF PROPOSED RE-USE OR ON-SITE RECYCLING | OFF-SITE SPECIFY CONTRACTOR AND RECYCLING OUTLET | SPECIFY CONTRACTOR AND LAND FILL SITE | CONTACT DETAILS |
| SITE CUT | 5 | | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| CONCRETE | 1 | TO BE USED AS FILL ON SITE | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| PLASTERBOARD | 3 | TO BE STOCKPILED SEPERATELY | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| PAPER PACKAGING | 1 | TO BE STOCKPILED SEPERATELY | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| METALS | 3 | TO BE STOCKPILED SEPERATELY | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| TIMBER | 6 | TO BE STOCKPILED SEPERATELY | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |
| INSULATION/ PLASTICS | 1 | TO BE STOCKPILED SEPERATELY | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 | OWNER | BUILDERS TIP, HOLMAN STREET, PORT KEMBLA 2505 |

WASTE BAYS

| STOCKPILE NUMBER | MATERIAL TYPE |
|------------------|-----------------------|
| 1 | CONCRETE |
| 2 | LANDFILL |
| 3 | PLASTERBOARD |
| 4 | PAPER PACKAGING |
| 5 | METALS |
| 6 | TIMBER |
| 7 | INSULATION / PLASTICS |



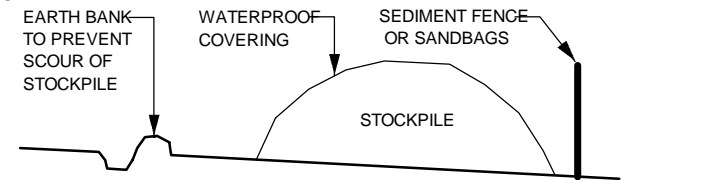
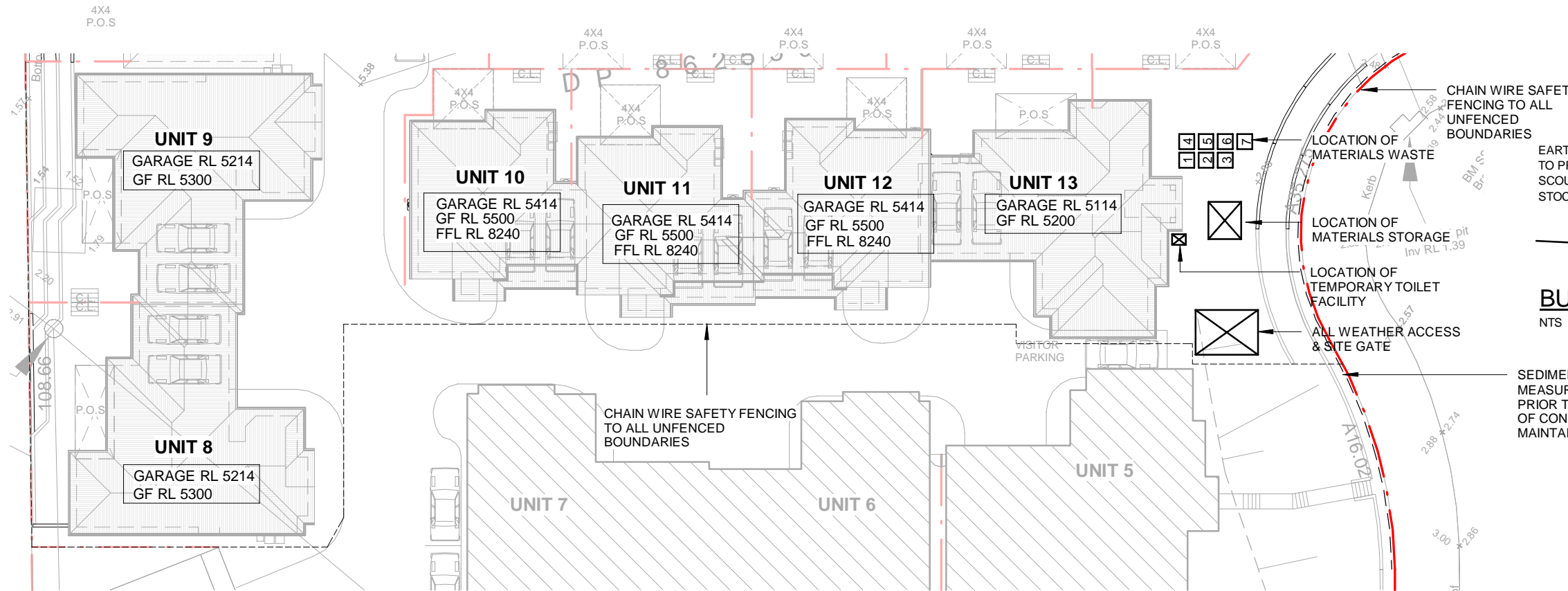
SEDIMENT FENCE DETAIL
NTS

SOIL EROSION/SEDIMENT CONTROL NOTES:-

- U24, GEOTEXTILE, ENVIROFENCE OR EQUIVALENT TO BE PROVIDED ON ALL BOUNDARIES AS REQUIRED.
- FABRIC IS ATTACHED TO A STRAND WIRE (ORDINARY FENCE WIRE) OR WIRE MESH (14 GAUGE AND 150MM X 150MM OPENING).
- THE LOWER END OF THE FABRIC AND MESH TO BE EMBEDDED 200MM INTO THE GROUND.
- FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 600MM
- GENERALLY FOLLOW THE CONTOUR OF THE LAND.
- WHEN 2 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED OVER.
- POSTS HOLDING THE MESH ARE EITHER STEEL Y OR U TYPE OR 45-50MM HARDWOOD 900-1200MM LONG POSTS. THESE ARE TO BE SPACED 2-3M APART.
- STOCK PILES ARE TO BE SET UP WITH SEDIMENT CONTROL DEVICES ON THE LOWER SLOPE.
- TEMPORARY BARRIERS CONSTRUCTED FROM TIMBER, SYNTHETIC FABRICS, JUTE, STRAW BALES, BRUSH OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND BLOWING SOIL. THEY SHOULD BE PLACED AT RIGHT ANGLES TO THE PREVAILING WIND AND SPACED AT INTERVALS EQUIVALENT TO ABOUT 15 TIMES THEIR HEIGHT.

WASTE MANAGEMENT NOTES:-

- VEHICLES TO BE HOSED DOWN TO PREVENT SOIL/EXCAVATED MATERIAL BEING DEPOSITED ON ROADWAY.
- CONCRETE PUMPING, DELIVERY OF MATERIAL, LOADING AND UNLOADING OF MATERIAL TO BE DONE WITHIN THE CONFINES OF THE PROPERTY
- WASTE BAYS 1-4 ARE TO BE CONSTRUCTED USING SHADE CLOTH OR SEDIMENT FENCING. WHERE THE WASTE STREAM IS MADE UP OF LIGHT MATERIAL SUCH AS PAPER AND CARDBOARD, THE WASTE BAYS MUST CONSIST OF A CONTAINER FOR THE STORAGE OF THIS MATERIAL.
- A METAL WASTE CONTAINER (5) WITH A MINIMUM CAPACITY OF FOUR CUBIC METRES MUST BE PROVIDED ON SITE FOR THE DISPOSAL OF "GENERAL WASTE" DESIGNATED FOR LANDFILL

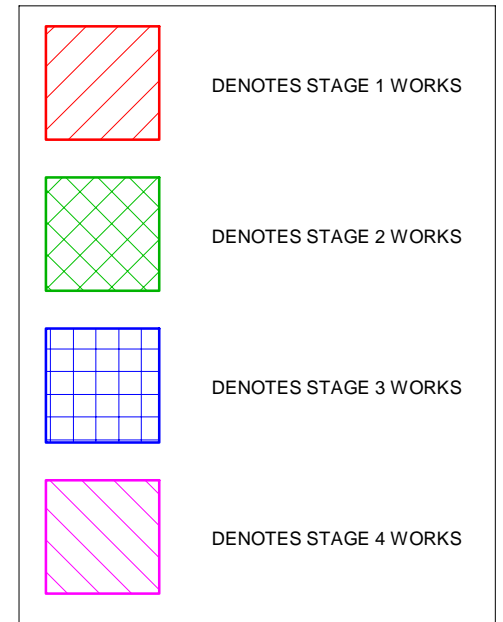
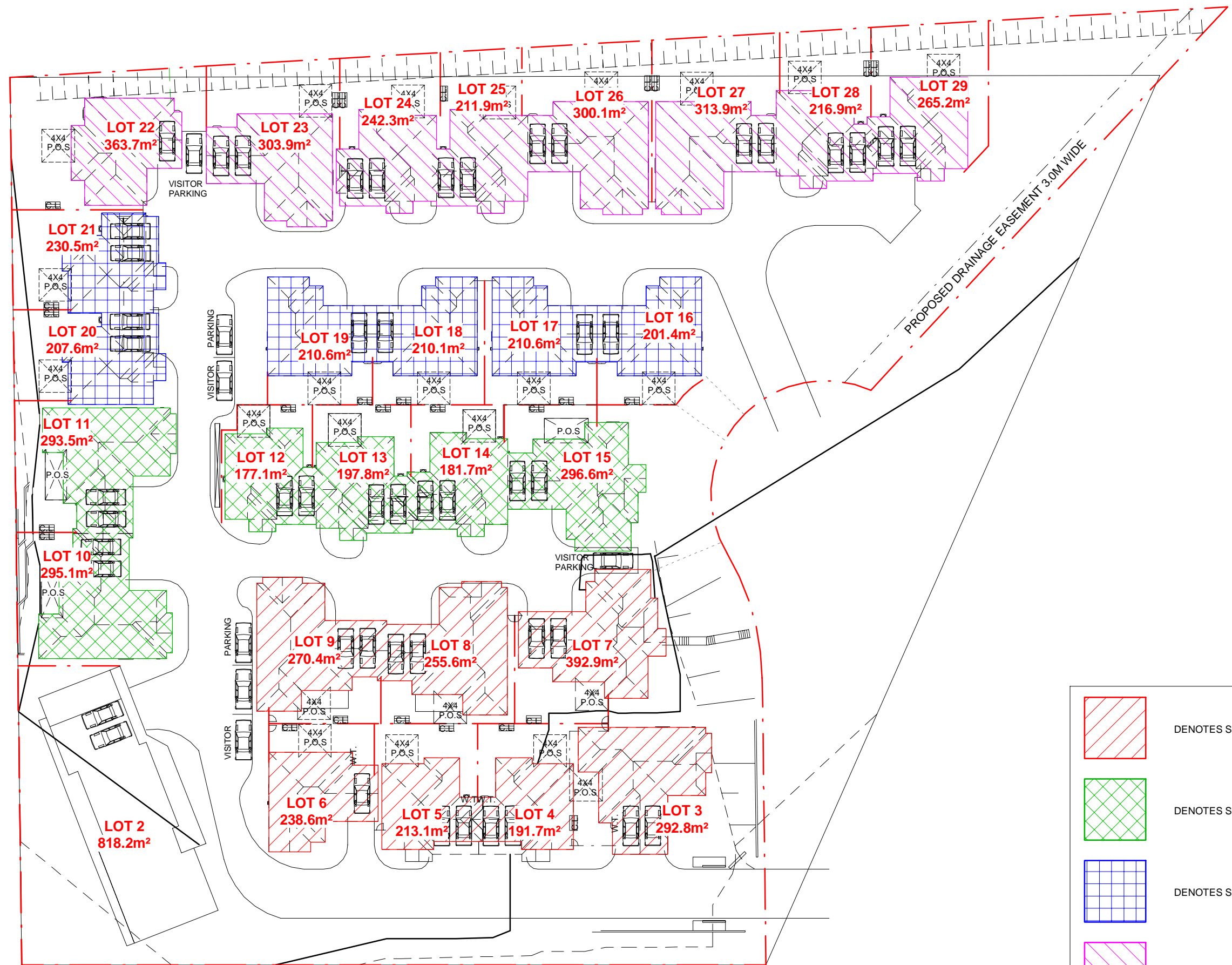
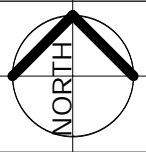


BUILDING MATERIAL STOCKPILES DETAIL
NTS

SEDIMENT & EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED UNTIL COMPLETION.

1 Stage 2 Site/Waste Management Plan

1 : 350



1

Site Staging Plan

1 : 500

| AMENDMENTS: | | | DWN: |
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| No: | DATE: | COMMENTS: | |
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GENERAL NOTES:

- Dimensions in preference to scale
- All ground lines are approximate
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- Wind Rating refer to framing manufacturer's specification

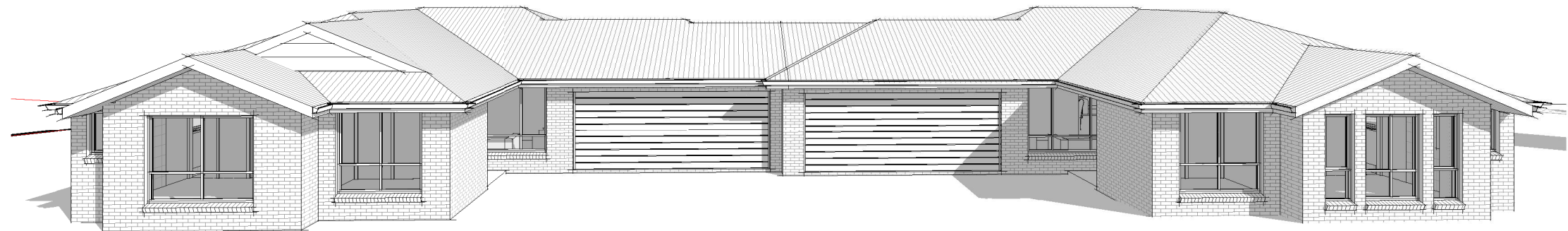
DRAWING: Site Staging Plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

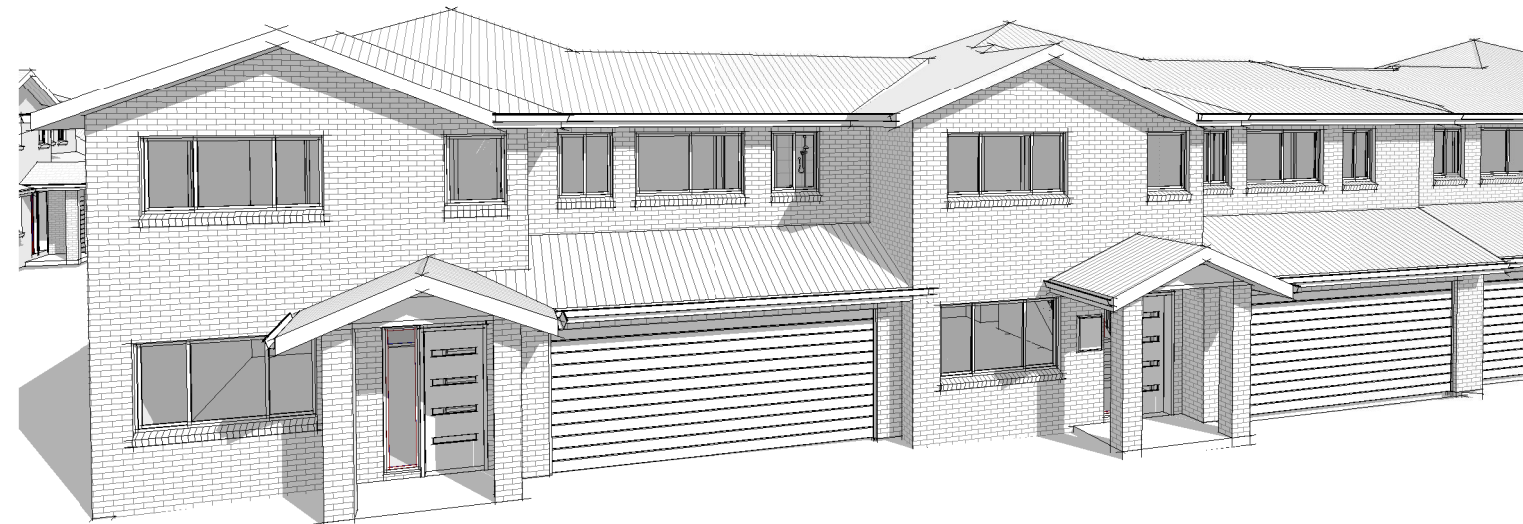
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DRAWN: J.H
SCALE: As indicated

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1 U8 & 9 Perspective



2 U10 & 11 Perspective

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GENERAL NOTES:

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- Window & Door sizes as shown - Nominal
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities
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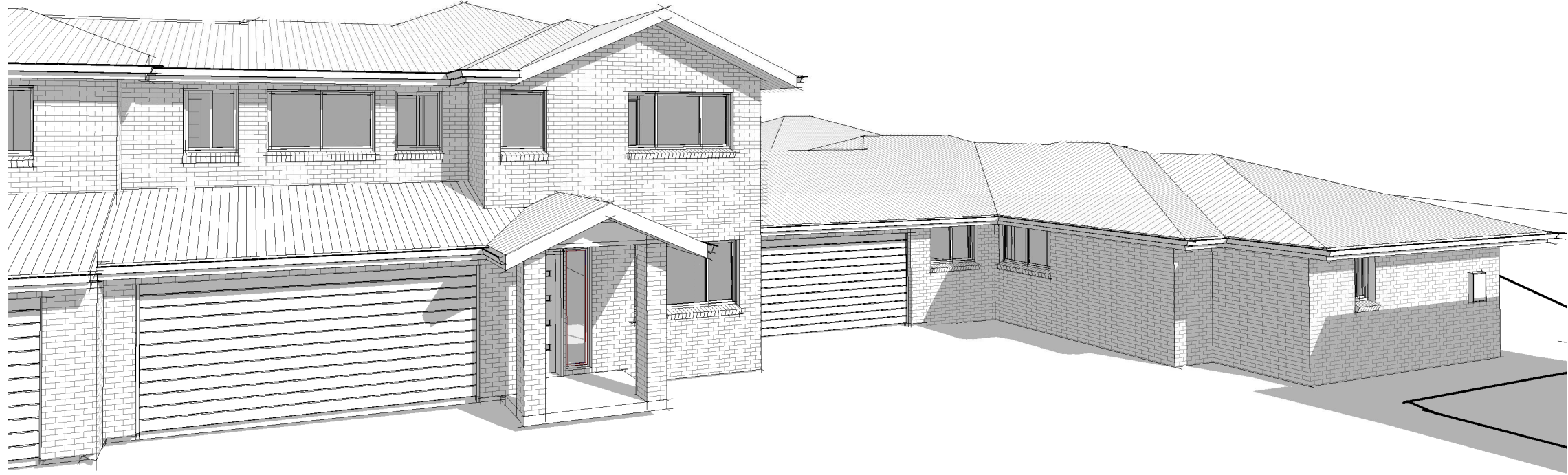
DRAWING: 3D Perspective
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE:

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1 U12 & 13 Perspective



2 U13 Perspective

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DWN:

GENERAL NOTES:

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- Wind Rating refer to framing manufacturer's specification

DRAWING: 3D Perspective

PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT

SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN

SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019

DATE: 14.12.20

DRAWN: J.H

SCALE:

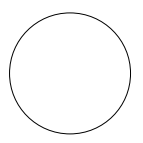
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Subdivision Plan

1

1 : 500

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GENERAL NOTES:

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- All ground lines are approximate
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- Wind Rating refer to framing manufacturer's specification

DRAWING: Concept Subdivision plan
PROJECT: STAGE 2 PROPOSED MEDIUM DENSITY DEVELOPMENT
SUBJECT: CONSTRUCTION DRAWINGS

CLIENT: DRYDEN
SITE: LOT 9 in DP 862550, 4 DRYDEN CLOSE NOWRA

JOB No.: 00472019
DATE: 14.12.20
DRAWN: J.H
SCALE: 1 : 500

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