

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE



DRAWING LIST

Sheet No.	Sheet Name	Drawn By
DA-1.00	COVER SHEET	MD+A
DA-2.00	SURVEY	D&C Surveying
DA-3.02	SITE PLAN + SETBACKS	MD+A
DA-3.03	SITE ANALYSIS PLAN	MD+A
DA-3.04	GFA CALCULATIONS AND COMPLIANCE TABLES	MD+A
DA-4.01	BASEMENT LEVEL	MD+A
DA-4.02	GROUND FLOOR LEVEL PLAN	MD+A
DA-4.03	LEVEL 1 FLOOR PLAN	MD+A
DA-4.04	LEVEL 2 FLOOR PLAN	MD+A
DA-4.05	LEVEL 3 FLOOR PLAN	MD+A
DA-4.06	LEVEL 4 FLOOR PLAN	MD+A
DA-4.07	LEVELS 5-6 FLOOR PLAN	MD+A
DA-4.08	LEVEL 7 FLOOR PLAN	MD+A
DA-4.09	LEVEL 8 FLOOR PLAN	MD+A
LSC-01	LANDSCAPE PLAN	MD+A
DA-5.01	ELEVATIONS	MD+A
DA-5.02	ELEVATIONS	MD+A
DA-6.01	SECTIONS	MD+A
DA-8.00	MAX. HEIGHT PLANE	MD+A
DA-8.01	PERSPECTIVES	MD+A
DA-8.02	PERSPECTIVES	MD+A
DA-8.03	ADG BUILDING SEPARATION ENVELOPE	MD+A

CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
- SURVEY - D&C SURVEY
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- QS REPORT - DUO QS
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- STORMWATER PLANS - LOKA CONSULTING
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A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

NOMINATED ARCHITECT
- BRENT MARVIN
NSW AHS 7462 | AHN 59 150 319 878
Design Practitioner
Regist. Number DEP000143

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DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

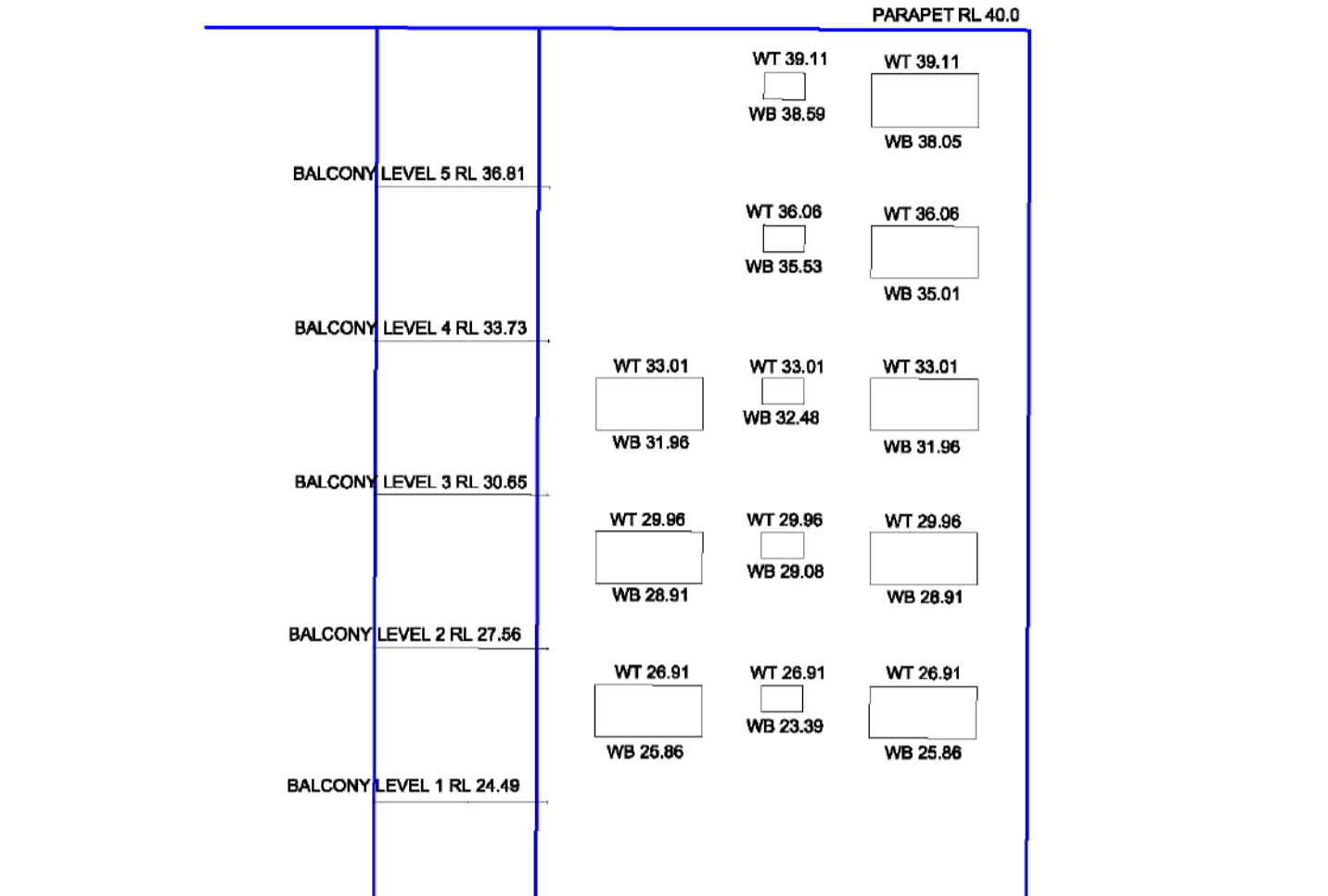
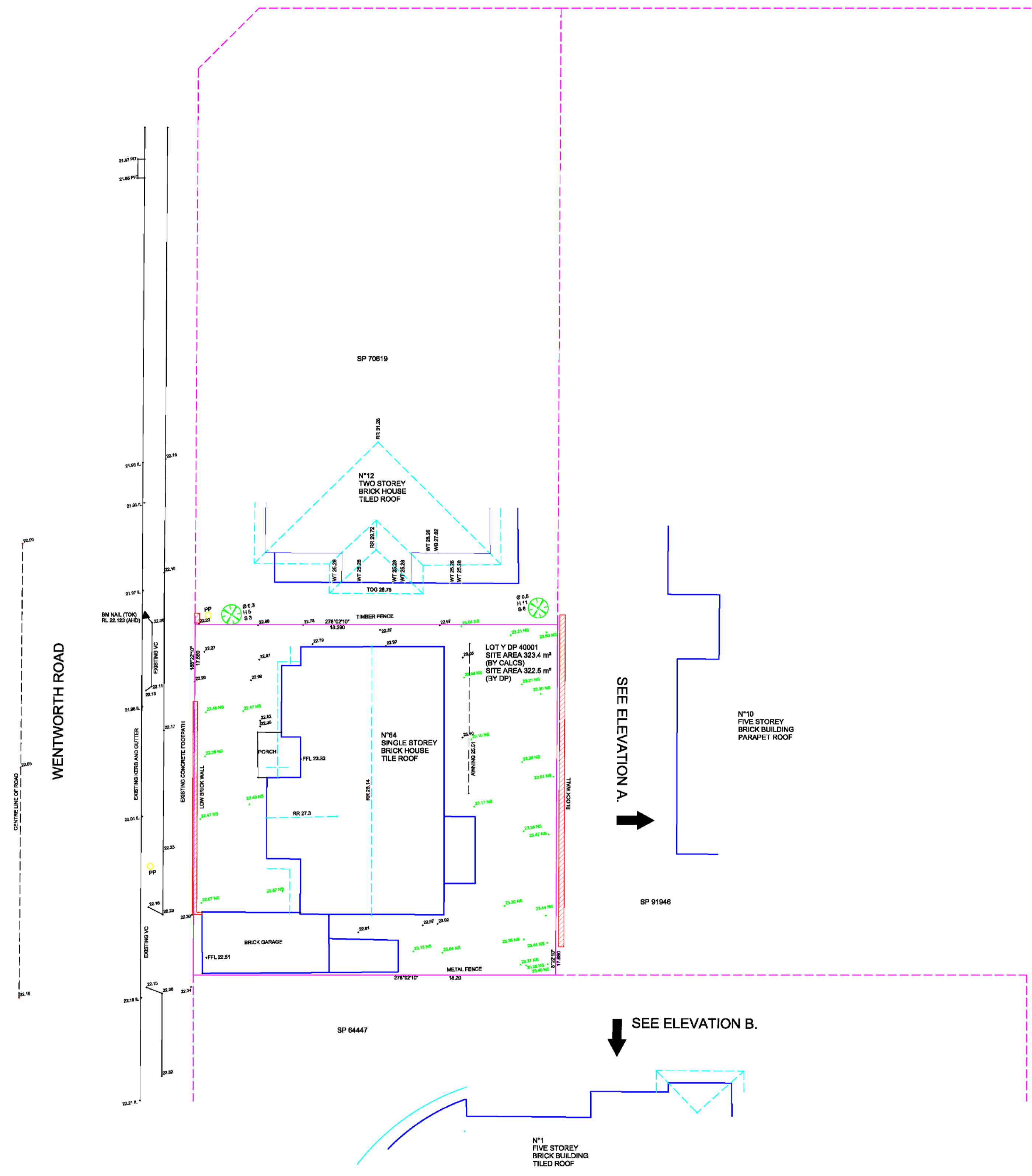
PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
COVER SHEET

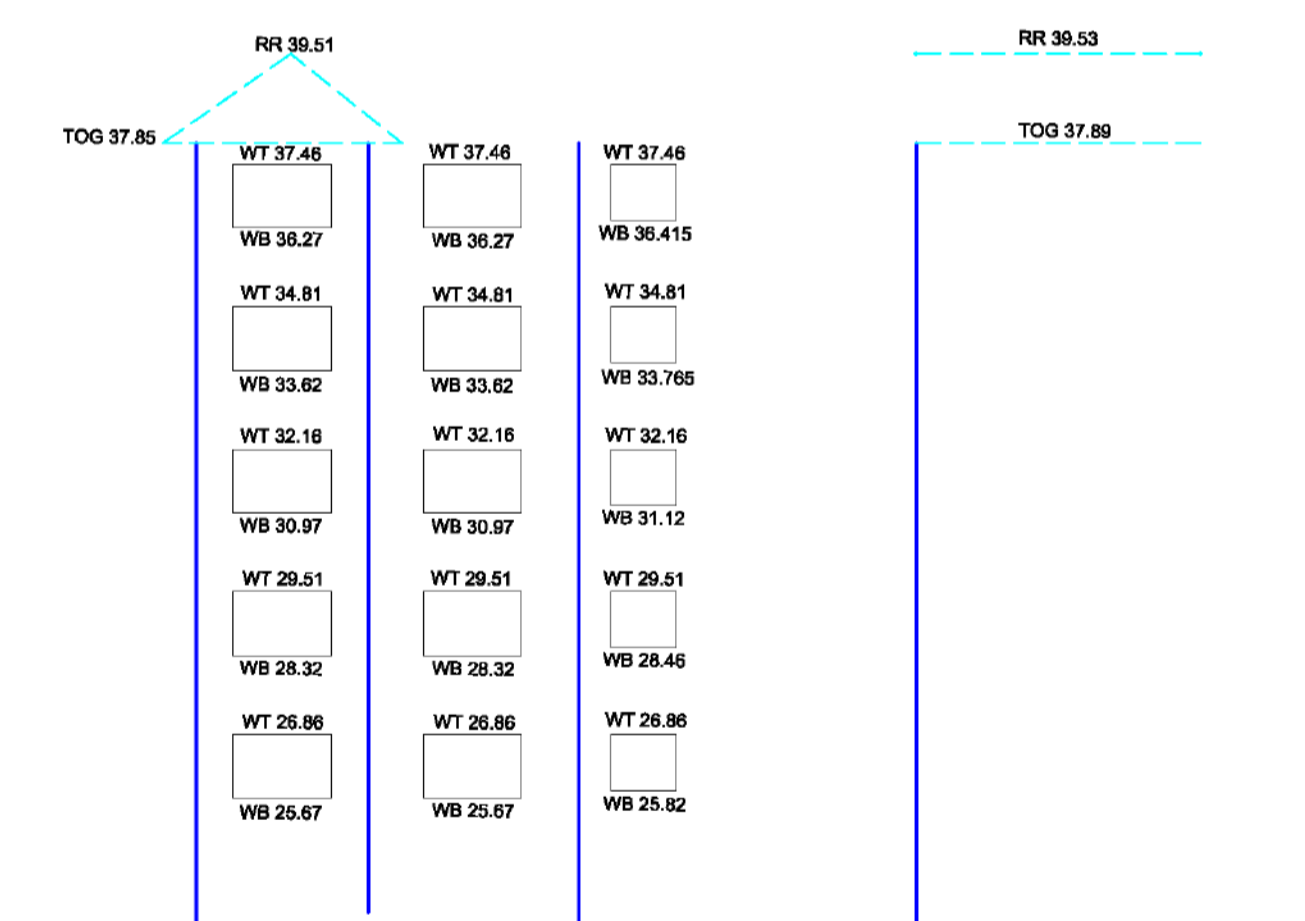
DATE: 14.02.2026

SHEET NO.	PROJECT #
DA-1.00	0295
REVISION	B

SCALE @ A1
Half the size @ A3



ELEVATION A.



ELEVATION B.

SCALES		NOTES	
		<ol style="list-style-type: none"> NO BOUNDARY SURVEY HAS BEEN DONE. DIMENSIONS AND AREAS ARE FROM THE TITLE AND SURVEY. CRITICAL FEATURES ON THIS PLAN MUST BE VERIFIED BY USER AS TO THE ACCURACY REQUIRED FOR INTENDED PURPOSE. ONLY VISIBLE SERVICES HAVE BEEN LOCATED. SPOI HEIGHTS INDICATE GENERAL TOPOGRAPHY. ONLY MAJOR TREES HAVE BEEN LOCATED. 	
AO Original	Horizontal Datum: Local	Vertical Datum: AHD	Datum Origin: CORSNET NSW GNSS

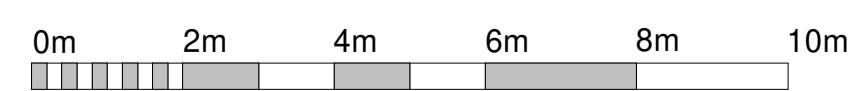
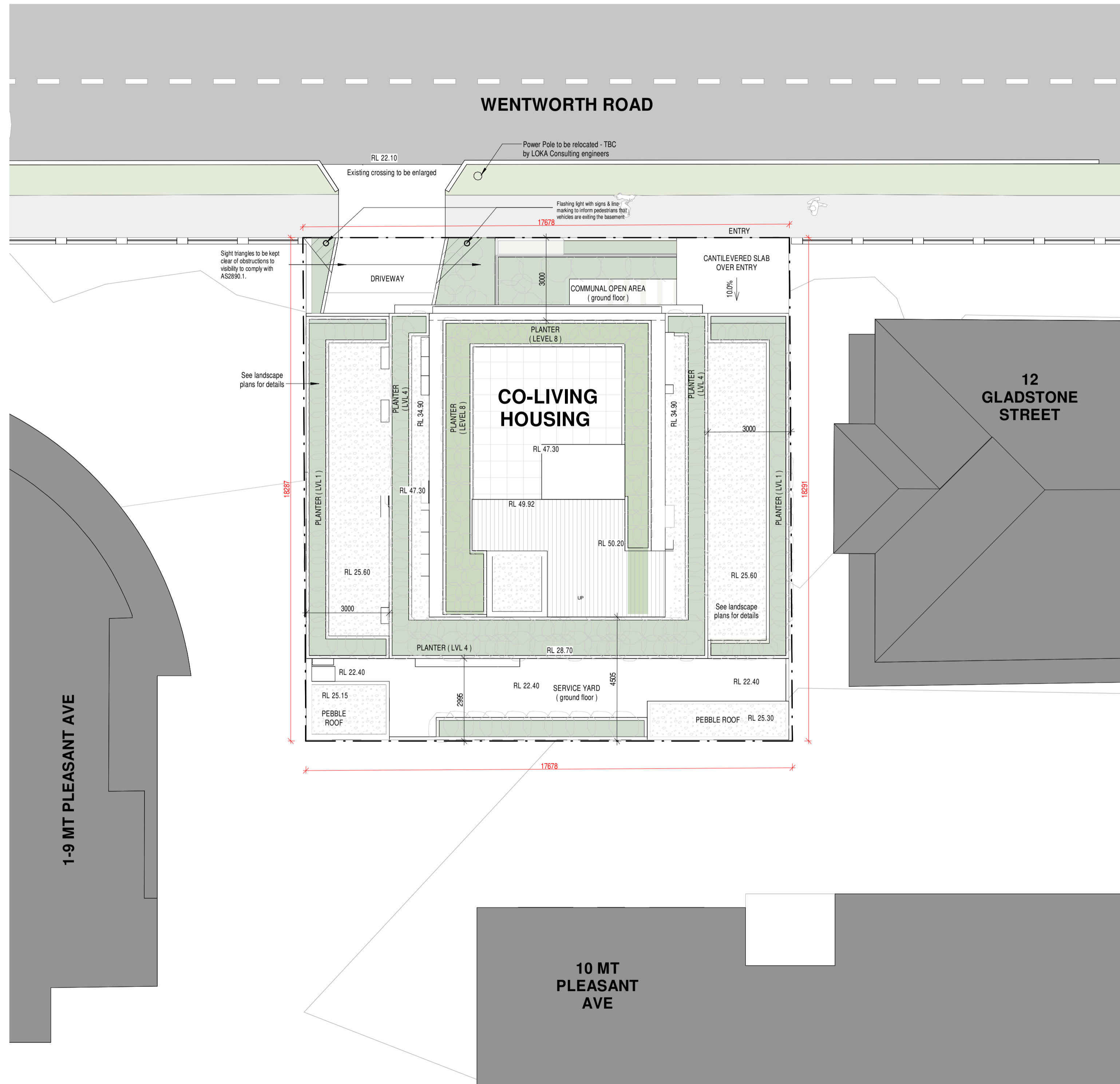
LEGEND	
AND	AUSTRALIAN HEIGHT DATUM
BM	BENCHMARK
FIL	FITTED FLOOR LEVEL
CL	GUTTER
N	NEEDLE
PP	POWER POLE
RL	ROOF LEVEL
RR	ROOF RIDGE
S	SEWER
TOG	TOP OF GUTTER
WT	TOP OF WINDOW
WB	WINDOW BOTTOM

D&C Surveying PTY LTD Land & Engineering Surveyors Strata & Subdivision Consultants	
Dragomir Catic B.E. M.I.S.N.S.W NSW Registered Surveyor (8671)	
Suite 3, 267-277 Norton Street Leichhardt, NSW 2040 PH: (02) 9568 6918 E: dcsurveying@bigpond.com	

SURVEYED	SP
DRAWN	AC
SURVEY CHECK	AC
DRAWING CHECK	SP
APPROVED	DC

Detail Survey Address: 64 Wentworth St Burwood NSW 2131 LGA: Burwood	
CLIENT: Sabin	STATUS: ISSUED FOR INFORMATION
SCALE: 1:100@A0	SHEET 1 OF 1
DWG # 170-24	REV. A

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VISUAL SCALE 1:100 @ A3

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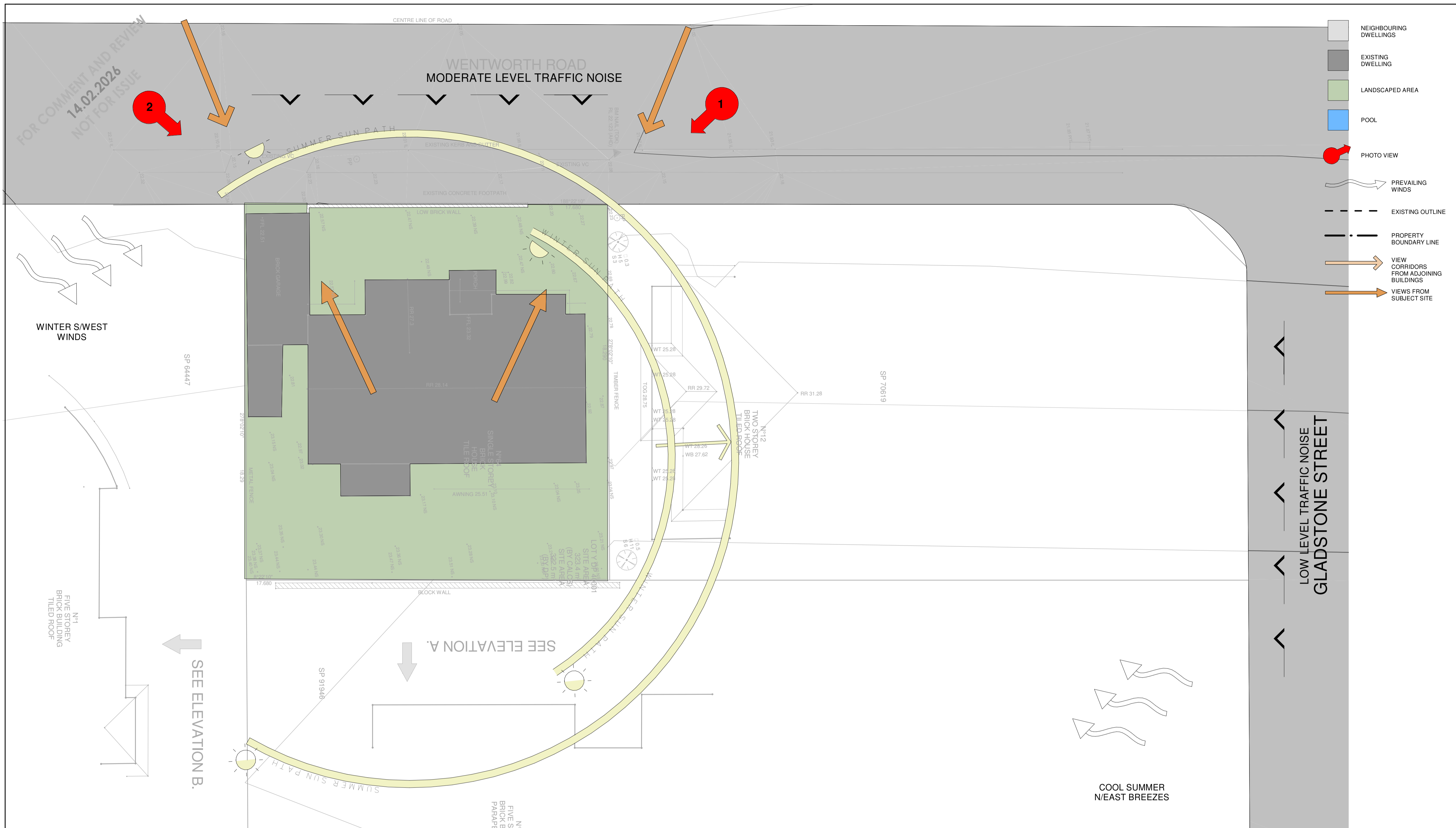
DEVELOPMENT APPLICATION

CLIENT
 Mr. Sabin Djuric

PROJECT
 PROPOSED CO-LIVING HOUSING
 64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
 SITE PLAN + SETBACKS

DATE: 14.02.2026	PROJECT #: 0295
SHEET NO.: DA-3.02	REVISION: B
SCALE: 1:100 @ A1 Half the size @ A3	



- NEIGHBOURING DWELLINGS
- EXISTING DWELLING
- LANDSCAPED AREA
- POOL
- PHOTO VIEW
- PREVAILING WINDS
- EXISTING OUTLINE
- PROPERTY BOUNDARY LINE
- VIEW CORRIDORS FROM ADJOINING BUILDINGS
- VIEWS FROM SUBJECT SITE

- CONSULTANTS**
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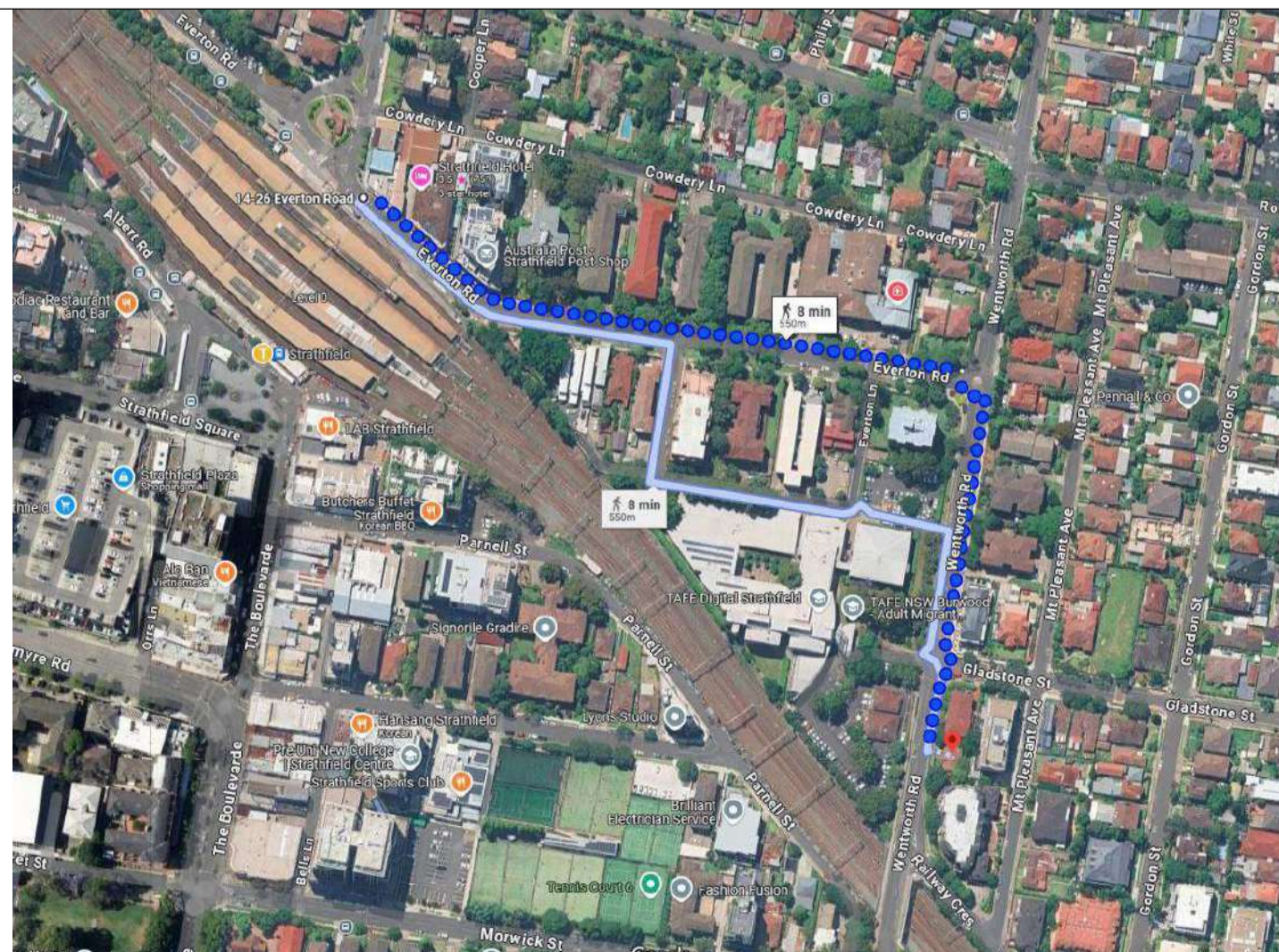
SHEET TITLE
SITE ANALYSIS PLAN

DATE: 14.02.2026

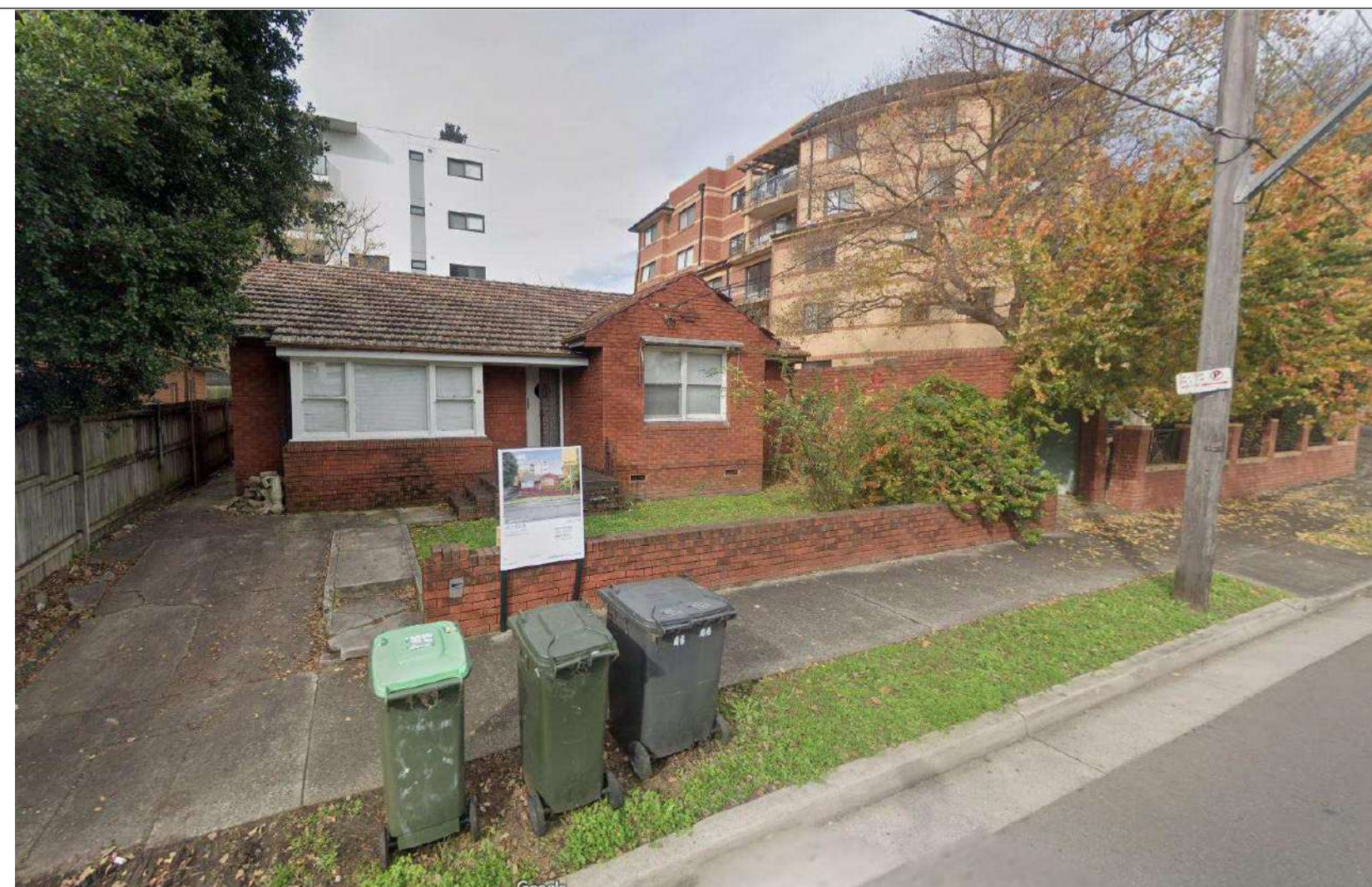
SHEET NO. **DA-3.03**

PROJECT # 0295
 REVISION B

SCALE: As Indicated @ A1
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AERIAL PHOTO + WALKING DISTANCE TO TRAIN STATION

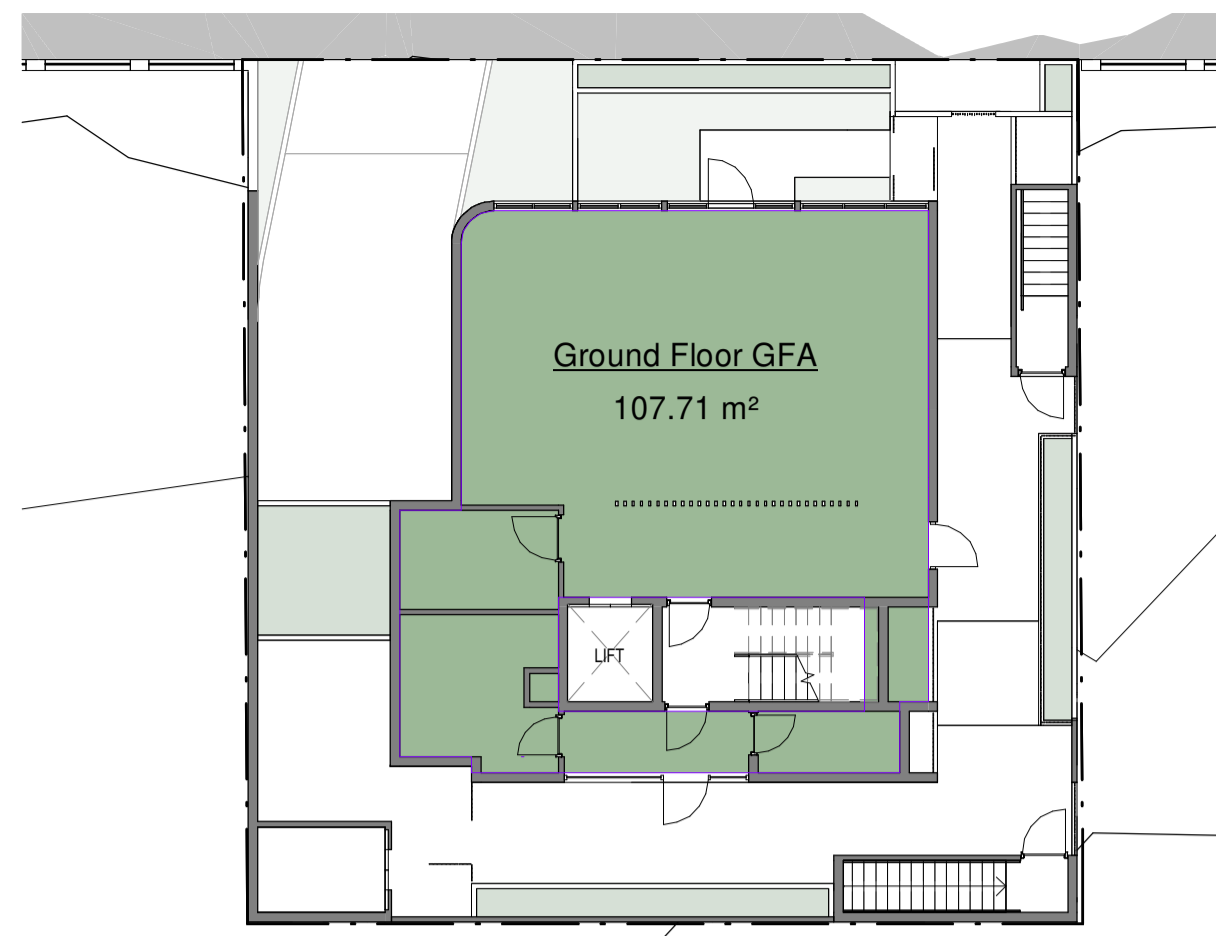


EXISTING STATE PHOTO - VIEW 1

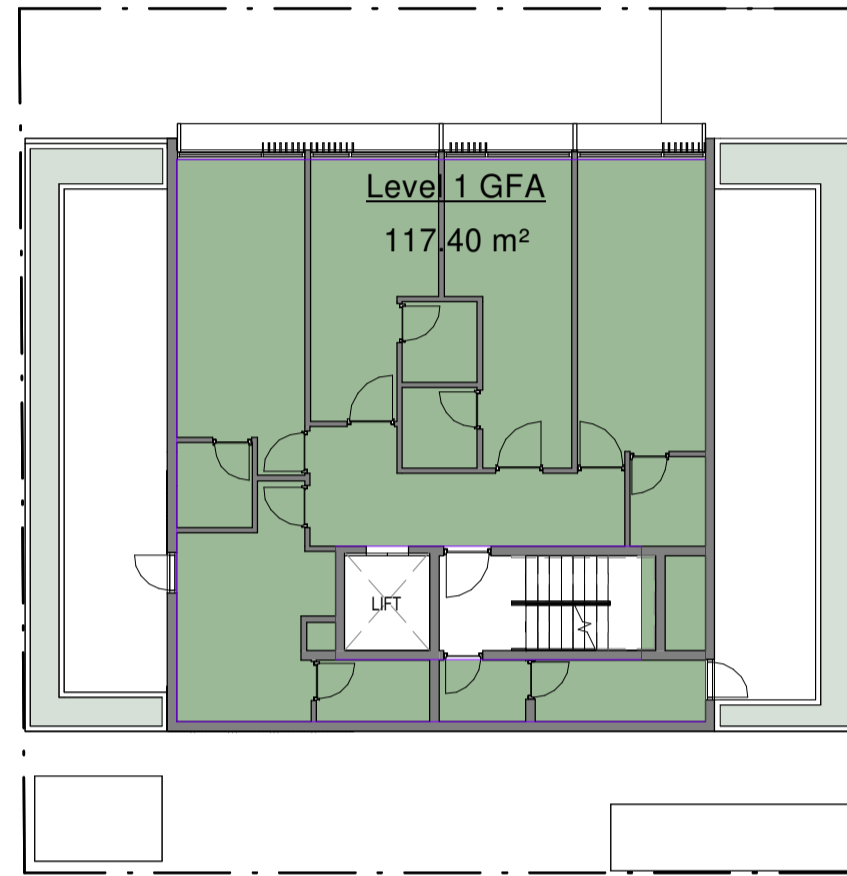


EXISTING STATE PHOTO - VIEW 2

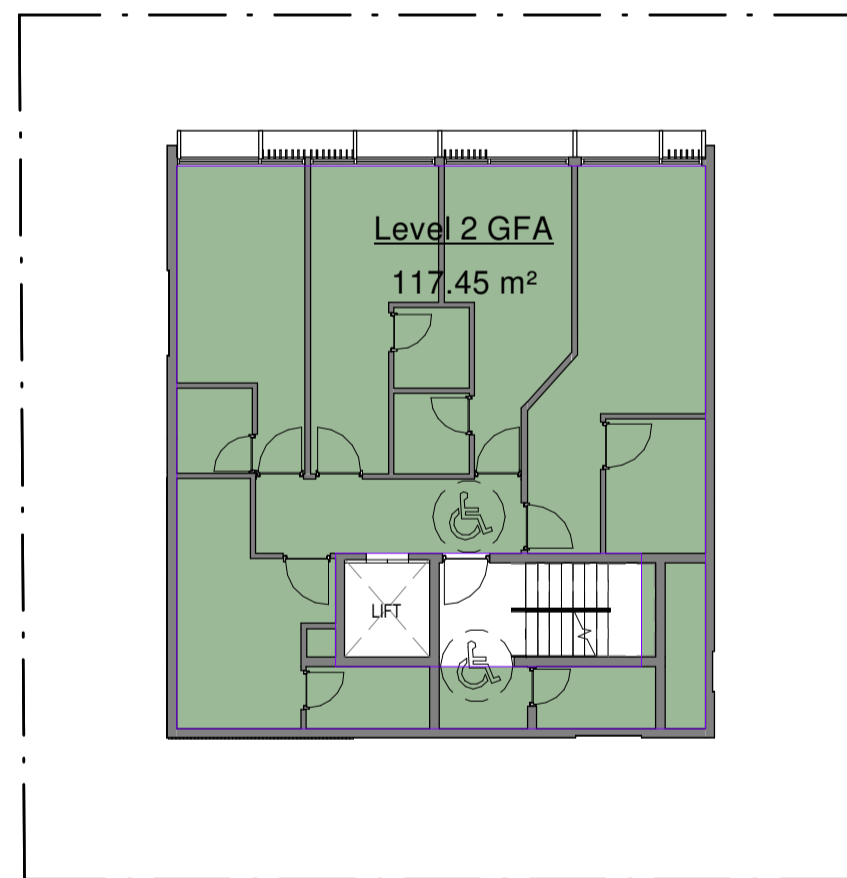
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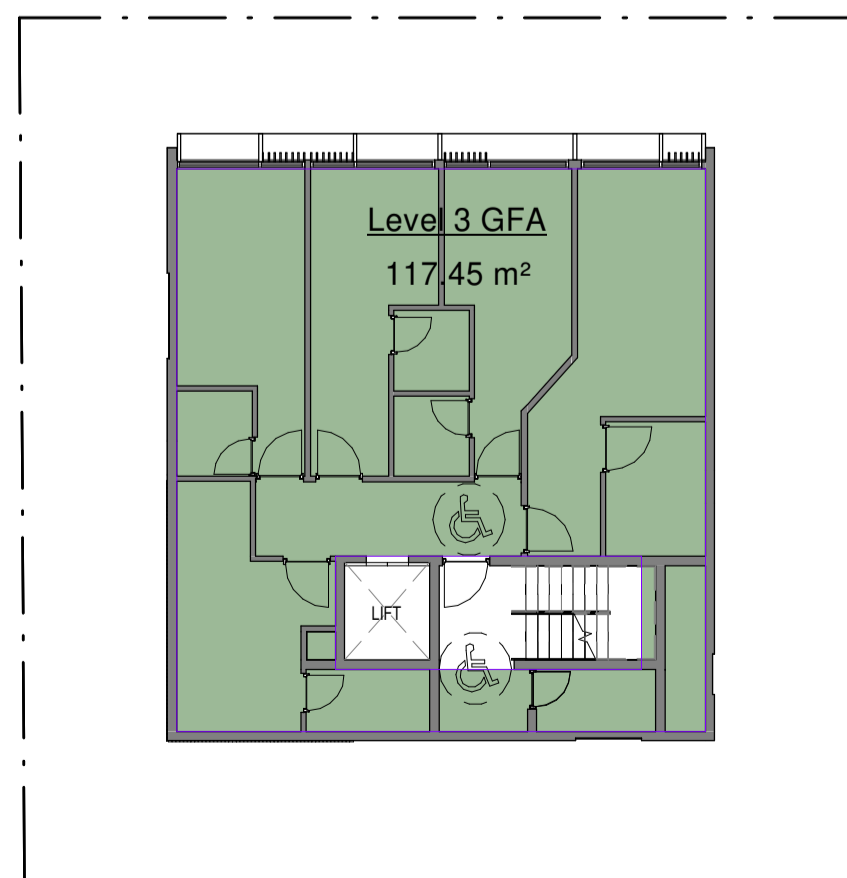
GROUND FLOOR



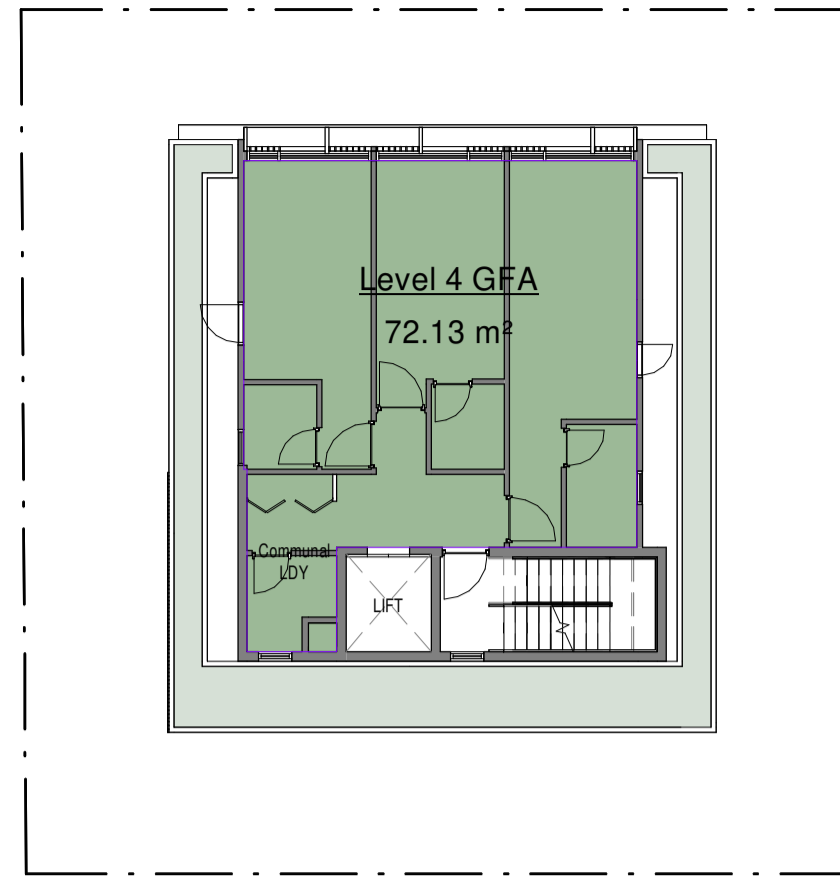
FIRST FLOOR



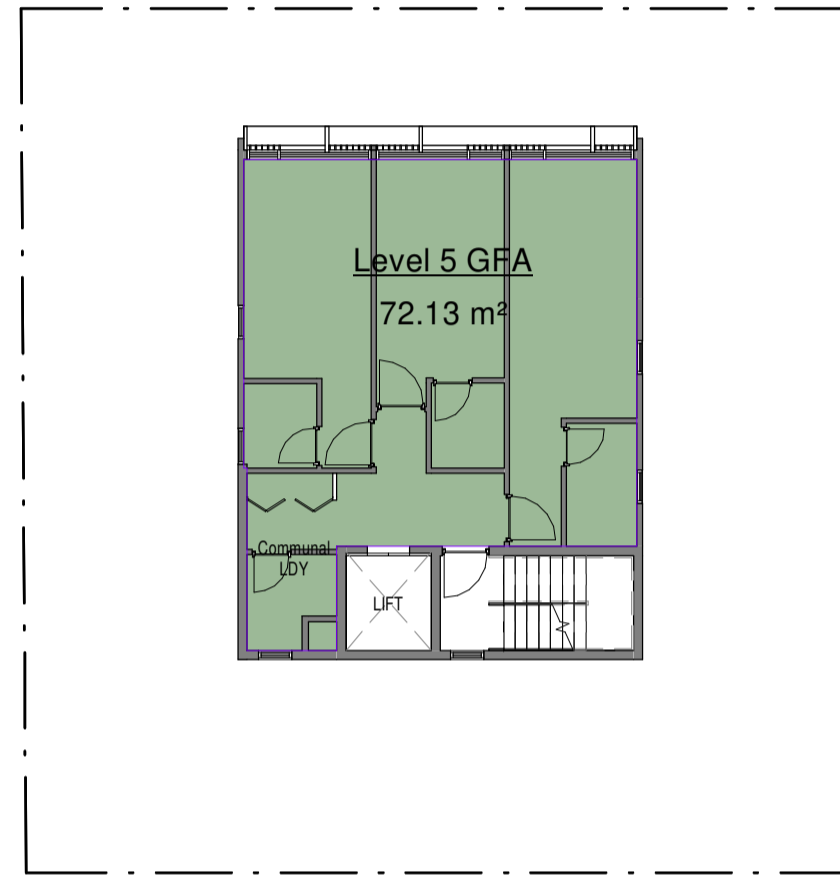
LEVEL 2



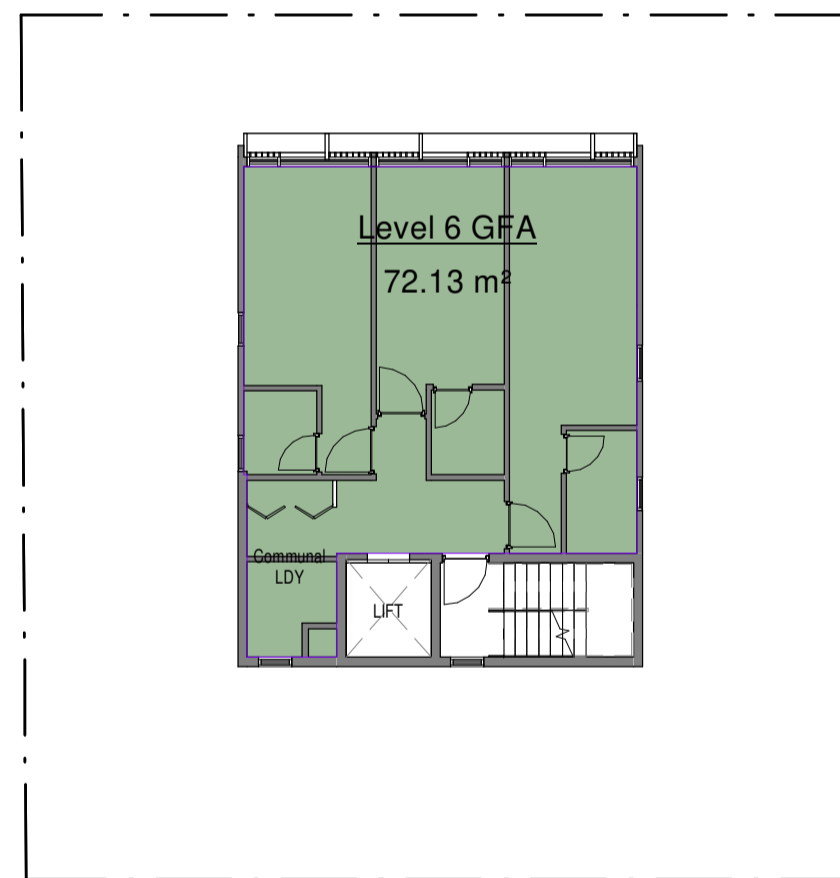
LEVEL 3



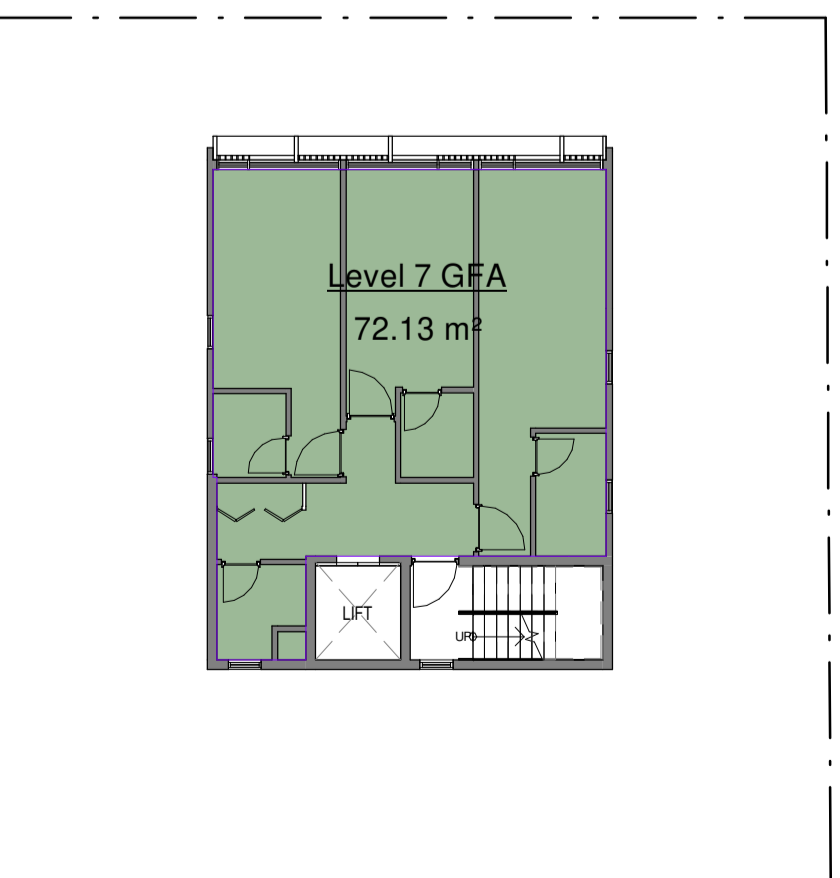
LEVEL 4



LEVEL 5



LEVEL 6



LEVEL 7

GFA Calculation - GFA Sheet	
Name	Area
Ground Floor GFA	107.71 m ²
Level 1 GFA	117.40 m ²
Level 2 GFA	117.45 m ²
Level 3 GFA	117.45 m ²
Level 4 GFA	72.13 m ²
Level 5 GFA	72.13 m ²
Level 6 GFA	72.13 m ²
Level 7 GFA	72.13 m ²
Total	748.54 m²

DA COMPLIANCE TABLE

SITE AREA: 323.3 m²

CONTROL	BURWOOD LEP AND DCP + SEPP	PROPOSED	COMPLIANT
Minimum site size	800m ²	323.3m ²	NO
Height (max)	26m	>26m	NO
FSR (max)	3:1	2:2:1	YES
GFA (max)	969.9m ²	748.54m ²	YES
Common living space	(At least 30m ² of communal living area + at least a further 2m ² for each private room in excess of 6 private rooms) 72m ²	77m ²	YES
Common Open Space (min)	20% (min 3m width) = 64.66m ²	67m ²	YES
Street Setback	6m (or average, whichever is greater) -	3m	NO
Rear Setback	6m (GF and FF)	5m	NO
Side Setback	GF - 2m (DCP) FF - 3.5 (DCP)	3m 3m	YES YES
Building separation distances - side and rear boundaries (Apartment Design Guide)	ADG: <u>Up to four storeys (approx. 12m building height):</u> - 6 metres between non-habitable rooms* (3m from boundary) <u>Between five to eight storeys (approx. 17-25m building height):</u> - 9 metres between non-habitable rooms* (4.5m from boundary) <u>Nine storeys and above (over 25m building height):</u> - 12 metres between non-habitable rooms* (6m from boundary)	3m (from boundary) 4.5m (from boundary) 6m (from boundary)	YES* YES* YES*
Parking Spaces	5.4 (0.2 per unit)	6 (1 accessible)	YES

* Due to the windows configuration (high windows) and bathrooms/suites positions along the side elevations, these areas are classified as non-habitable for the purposes of this analysis/assessment.

UNIT COUNT

Level	Single Units	Double Units	
Ground Floor	0	0	
Level 1	3	2	
Level 2	5 (1x accessible*)	0	
Level 3	5 (1x accessible*)	0	
Level 4	2	1	
Level 5	2	1	
Level 6	2	1	
Level 7	2	1	
TOTAL	22 (3x accessible)	5	27

* min. required under total of 40 units is 2 accessible sole occupancy units

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SHEET TITLE
GFA CALCULATIONS AND COMPLIANCE TABLES

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-3.04	REVISION B
SCALE As indicated @ A1 Half the size @ A3	

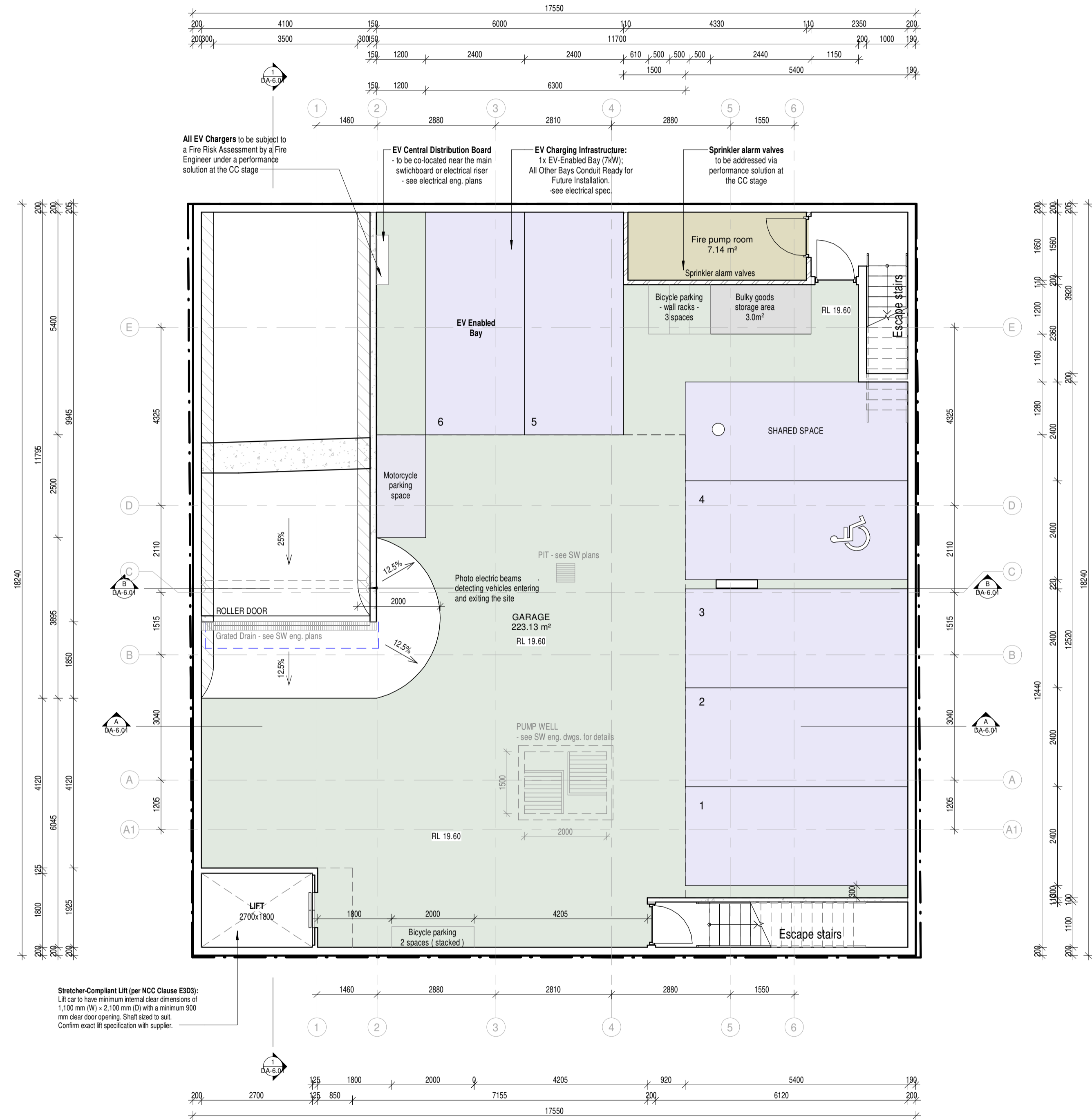
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Ramp traffic control notes:
A traffic control system for a single-lane car park entry typically uses traffic lights and sensors to manage vehicle flow and prevent collisions. Sensors detect when a vehicle is present, and the lights signal which vehicle has priority for entry. Components and Functionality:
Sensors: In-ground loop detectors or beam sensors are used to detect the presence of vehicles.
Traffic Lights: Red and green lights indicate when a vehicle can safely enter or exit the car park.
Controller: A controller coordinates the traffic lights based on sensor data, ensuring only one vehicle enters the ramp at a time.
Priority: The controller can be configured to give priority to one vehicle over another, particularly in situations where there's a conflict.

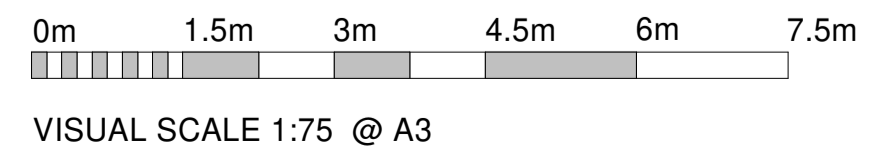
Benefits:
Safety: Prevents collisions by controlling vehicle flow and indicating priority.
Efficiency: Reduces congestion and delays by allowing one vehicle to enter at a time, especially in single-lane driveways.
One-Way System: Facilitates the design of one-way ramps and single-direction access points.
Reduced Confusion: Clearly indicates which vehicle should stop or proceed, reducing confusion and potential accidents.

LEGEND

- Existing Element
- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall/Slab
- Landscaping Area
- ADG setback line - 1/2 of the minimum specified building separation
- Building setback dimensions (from boundary) - see ADG notes on plans
- ADG setback line - from boundary (see ADG)
- Building separation dimensions (see ADG)



Stretcher-Compliant Lift (per NCC Clause E3D3):
Lift car to have minimum internal clear dimensions of 1100 mm (W) x 2100 mm (D) with a minimum 900 mm clear door opening. Shaft sized to suit. Confirm exact lift specification with supplier.



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NOT FOR CONSTRUCTION

Rev.	Date	Description
A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

MD+A ARCHITECTS
Unit 508, 3 Gladstone Street, Newtown, NSW 2042
TEL: +61 1300 424 327

NOMINATED ARCHITECT
- BRENT MARVIN
NSW AHS 7462 | ABN 59 150 319 878
Design Practitioner
Regist. Number DEP000143

HEAD OFFICE:
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STUDIOS:
- 121 Railway Avenue, Bundanoon, NSW 2578
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- 23 Balfour Street, Culcairn
- RIVERINA

EMAIL: admin@mdoarchitects.com.au
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MAIL TO: PO Box 157, Manickville, NSW 2204

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DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
BASEMENT LEVEL

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-4.01	REVISION B
SCALE As indicated @ A1 Half the size @ A3	

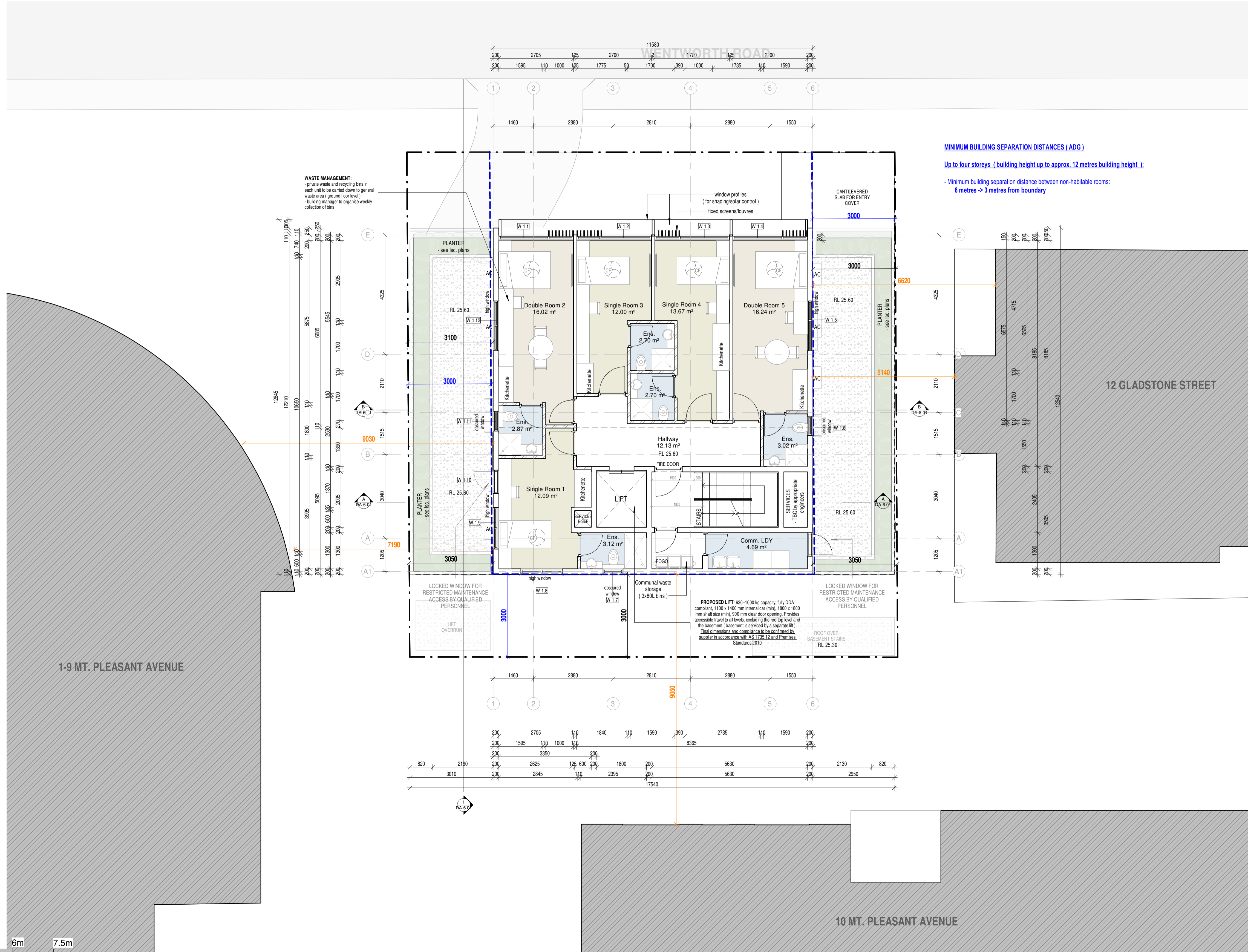
FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE

LEGEND

- Existing Element
- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall/Slab
- Landscaping Area
- ADG setback line - 1/2 of the minimum specified building separation
- Building setback dimensions (from boundary) - see ADG notes on plans
- ADG setback line - from boundary (see ADG)
- Building separation dimensions (see ADG)

WASTE MANAGEMENT:
- private waste and recycling bins in each unit to be carried down to general waste area (ground floor level)
- building manager to organise weekly collection of bins

MINIMUM BUILDING SEPARATION DISTANCES (ADG)
Up to four storeys (building height up to approx. 12 metres building height):
- Minimum building separation distance between non-habitable rooms:
6 metres -> 3 metres from boundary



- CONSULTANTS**
- CLIENT - MR. AND MRS. DJURIC
 - ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
 - TOWN PLANNER - WESTERN SYDNEY PLANNING
 - SURVEY - D.&C SURVEY
 - ACOUSTIC REPORT - ACOUSTIC LOGIC
 - QS REPORT - DUO QS
 - TRAFFIC REPORT - LOKA CONSULTING
 - STORMWATER PLANS - LOKA CONSULTING
 - GEOTECHNICAL REPORT - GEOENVIRONMENTAL
 - BCA REPORT - DESIGN RIGHT CONSULTING
 - FIRE SAFETY SCHEDULE -
 - ACCESS REPORT - LOKA CONSULTING
 - CPTEd - WESTERN SYDNEY PLANNING
 - PLAN OF MANAGEMENT - WESTERN SYDNEY PLANNING
 - WASTE MANAGEMENT PLAN - LOKA CONSULTING
 - LANDSCAPE PLAN - RAY FUGGLE ASSOCIATES

GENERAL NOTES:

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Rev.	Date	Description
A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

MD+A ARCHITECTS

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DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

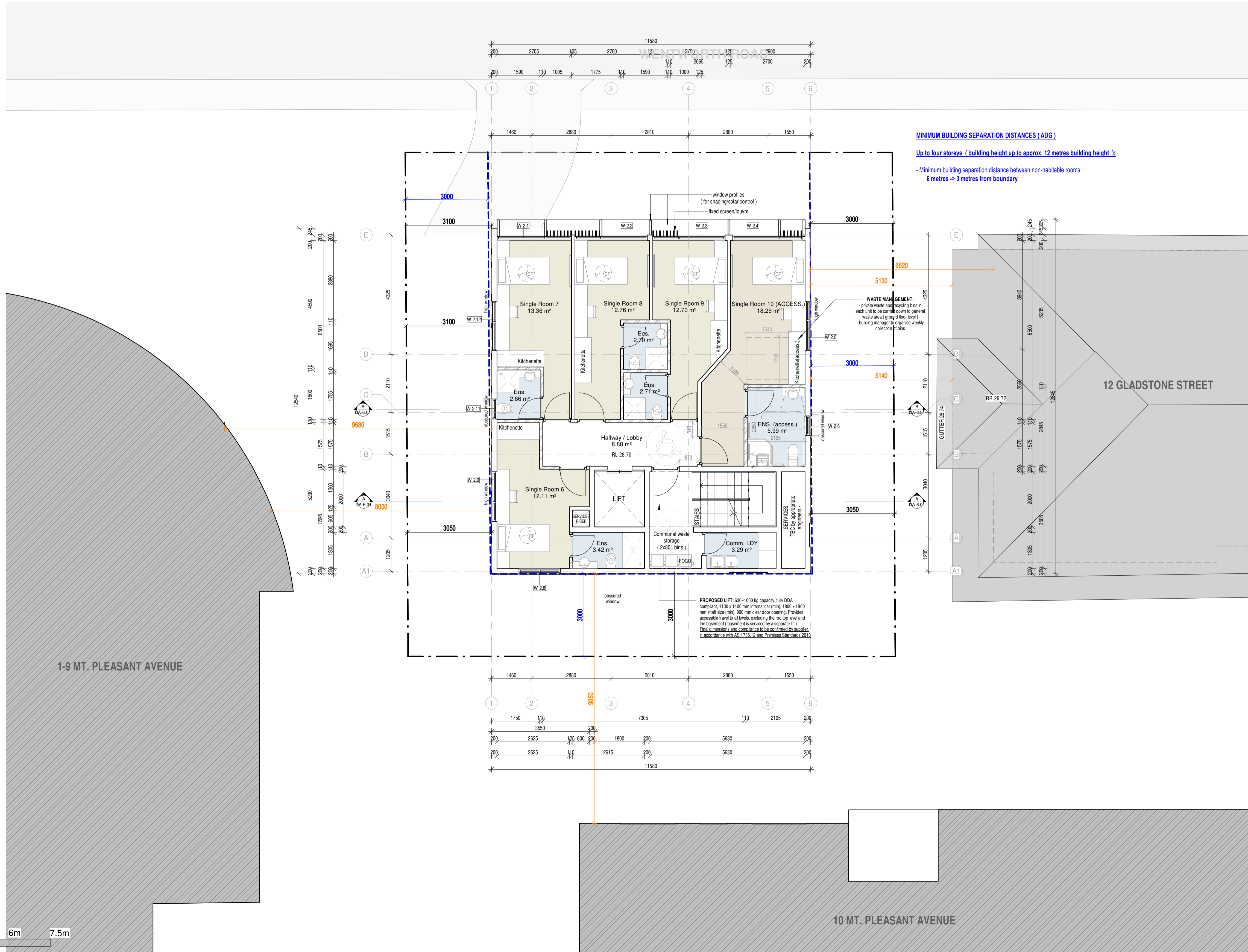
SHEET TITLE
LEVEL 1 FLOOR PLAN

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-4.03	REVISION B
SCALE As indicated @ A1 Half the size @ A3	

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE

LEGEND

- Existing Element
- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall/Slab
- Landscaping Area
- ADG setback line
- 1/2 of the minimum specified building separation
- Building setback dimensions
(from boundary) - see ADG notes on plans
- ADG setback line - from boundary
(see ADG)
- Building separation dimensions
(see ADG)



CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
- SURVEY - D.&C SURVEY
- ACOUSTIC REPORT - ACOUSTIC LOGIC
- QS REPORT - DUO QS
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- FIRE SAFETY SCHEDULE -
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 23 Balfour Street, Culcairn, RIVERINA
 DESIGN PRACTITIONER
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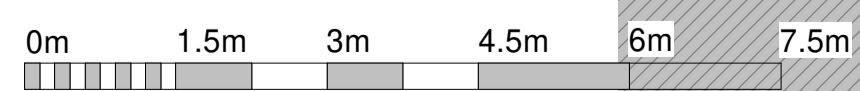
DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
LEVEL 2 FLOOR PLAN

DATE:	14.02.2026	PROJECT #	0295
SHEET NO.	DA-4.04	REVISION	B
SCALE	As indicated @ A1 Half the size @ A3		

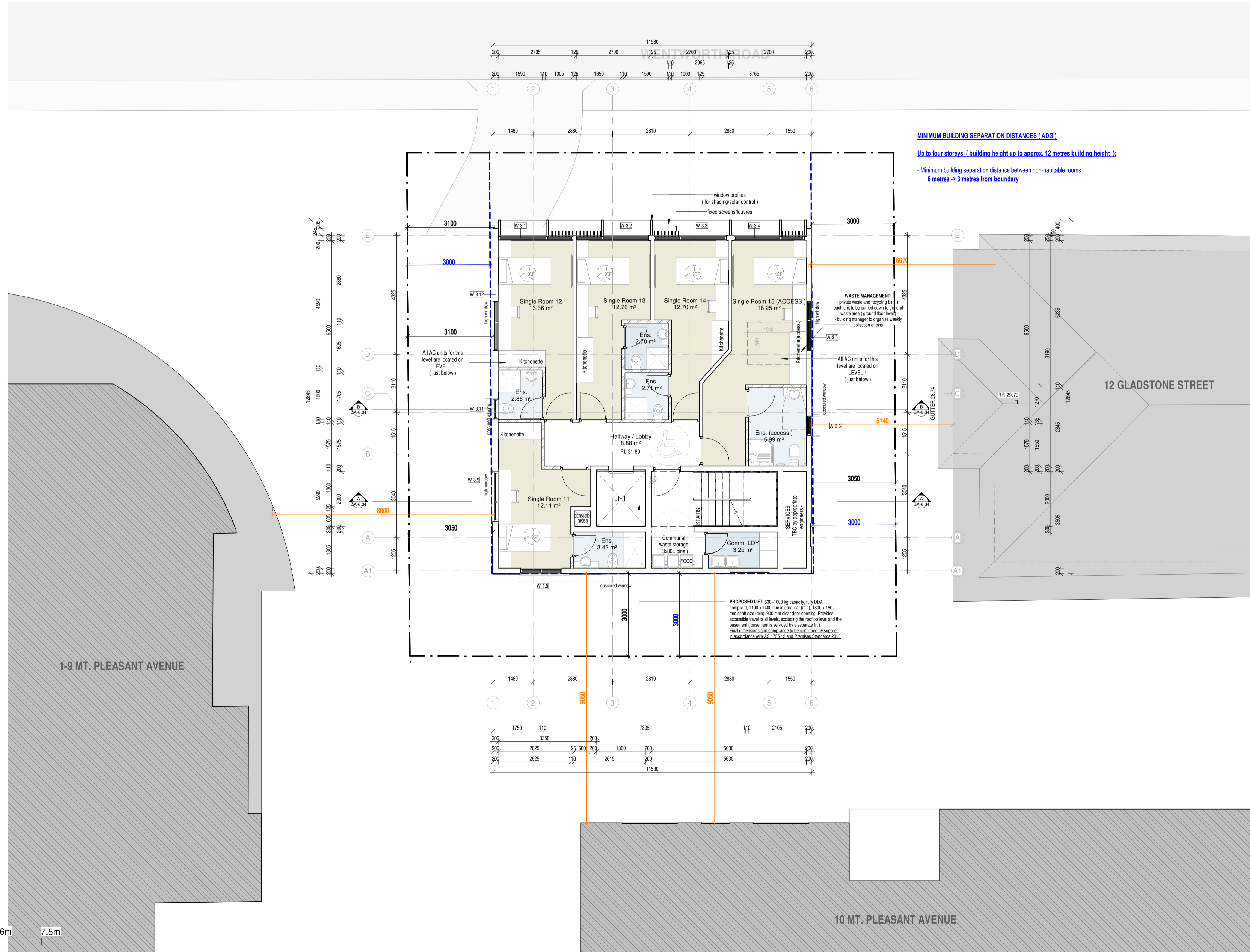


VISUAL SCALE 1:75 @ A3

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE

LEGEND

- Existing Element
- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall/Slab
- Landscaping Area
- ADD setback line - 1/2 of the minimum specified building separation
- 2500 Building setback dimensions (from boundary) - see ADG notes on plans
- 2500 ADD setback line - from boundary (see ADG)
- 2500 Building separation dimensions (see ADG)



MINIMUM BUILDING SEPARATION DISTANCES (ADG)
Up to four storeys (building height up to approx. 12 metres building height):
- Minimum building separation distance between non-habitable rooms:
6 metres -> 3 metres from boundary

- CONSULTANTS**
- CLIENT - MR. AND MRS. DJURIC
 - ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
 - TOWN PLANNER - WESTERN SYDNEY PLANNING
 - SURVEY - D&C SURVEY
 - ACOUSTIC REPORT - ACOUSTIC LOGIC
 - QS REPORT - DUO QS
 - TRAFFIC REPORT - LOKA CONSULTING
 - STORMWATER PLANS - LOKA CONSULTING
 - GEOTECHNICAL REPORT - GEOENVIRONMENTAL
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 - FIRE SAFETY SCHEDULE -
 - ACCESS REPORT - LOKA CONSULTING
 - CPED - WESTERN SYDNEY PLANNING
 - PLAN OF MANAGEMENT - WESTERN SYDNEY PLANNING
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 - LANDSCAPE PLAN - RAY FUGGLE ASSOCIATES

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A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

MD+A ARCHITECTS
Unit 508, 3 Gladstone Street, Newtown, NSW 2042

NOMINATED ARCHITECT
- BRENT MARVIN
NSW AHS 7462 | AHN 59 150 319 878
Design Practitioner
Regist. Number DEP000143

HEAD OFFICE:
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SUDDOCS:
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- SOUTHERN HIGHLANDS
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DEVELOPMENT APPLICATION

CLIENT
Mr. Sibir Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
LEVEL 3 FLOOR PLAN

DATE: 14.02.2026

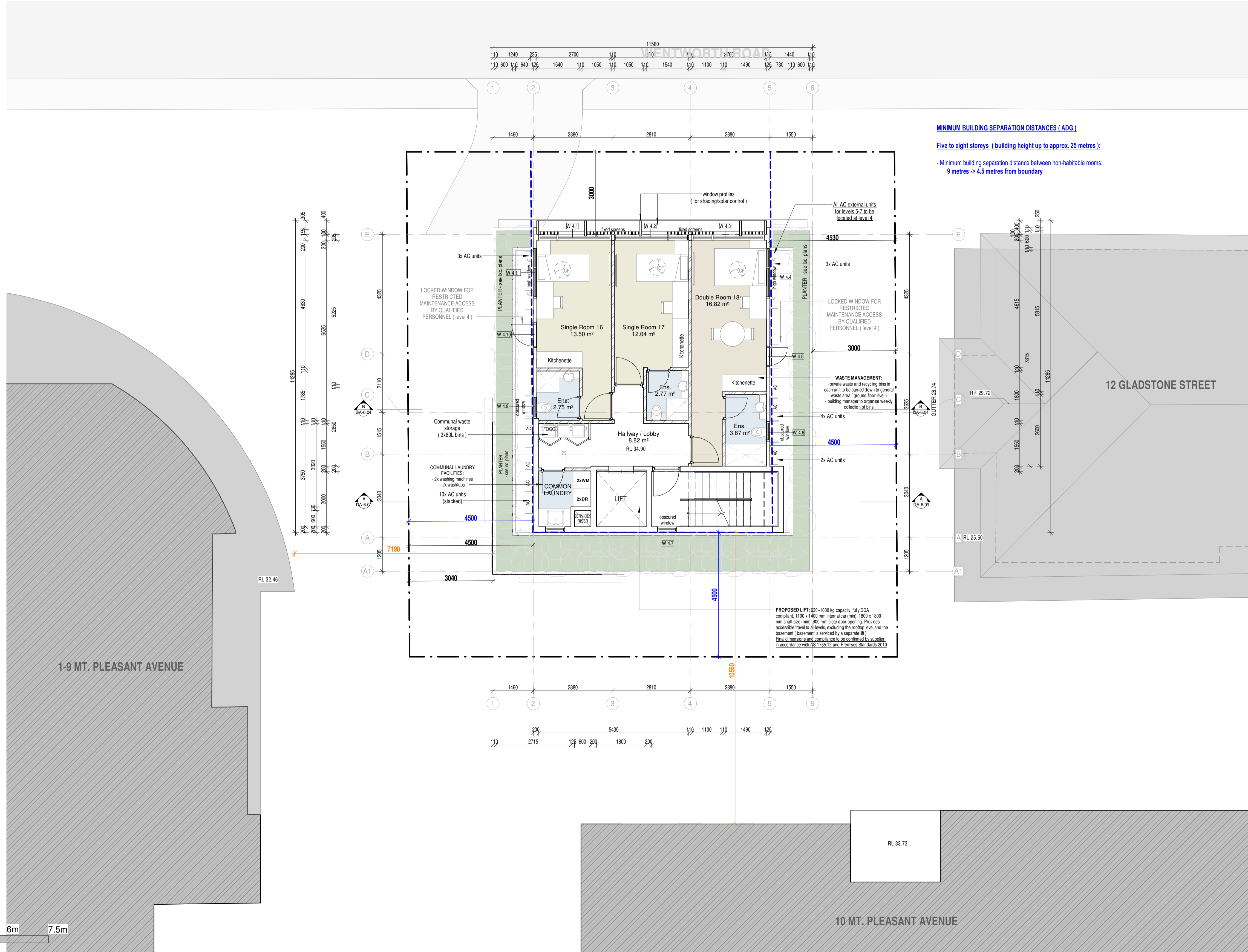
SHEET NO.	PROJECT #
DA-4.05	0295
REVISION	B

SCALE As indicated @ A1
Half the size @ A3

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE

LEGEND

- Existing Element
- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall Slab
- Landscaping Area
- ADG setback line
- 1/2 of the minimum specified building separation
- Building setback dimensions
(from boundary) - see ADG notes on plans
- ADG setback line - from boundary
(see ADG)
- Building separation dimensions
(see ADG)



MINIMUM BUILDING SEPARATION DISTANCES (ADG)

Five to eight storeys (building height up to approx. 25 metres):

- Minimum building separation distance between non-habitable rooms:
9 metres -> 4.5 metres from boundary

CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
- SURVEY - D&C SURVEY
- ACOUSTIC REPORT - ACOUSTIC LOGIC
- QS REPORT - DUO QS
- TRAFFIC REPORT - LOKA CONSULTING
- STORMWATER PLANS - LOKA CONSULTING
- GEOTECHNICAL REPORT - GEOENVIRONMENTAL
- BCA REPORT - DESIGN RIGHT CONSULTING
- FIRE SAFETY SCHEDULE -
- ACCESS REPORT - LOKA CONSULTING
- CPED - WESTERN SYDNEY PLANNING
- PLAN OF MANAGEMENT - WESTERN SYDNEY PLANNING
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Rev.	Date	Description
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MD+A ARCHITECTS
 HEAD OFFICE: Unit 508, 3 Gladstone Street, Newtown, NSW 2042
 NOMINATED ARCHITECT - BRENT MARVIN
 NSW AHS 7462 | ABN 59 150 319 878
 Design Practitioner
 Reg. # Number DEP000143
 EMAIL: admin@mdoarchitects.com.au
 TEL: +61 1300 424 329
 BROWSE: www.mdoarchitects.com.au
 MAIL TO: PO Box 157, Murrumbidgee, NSW 2204

DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

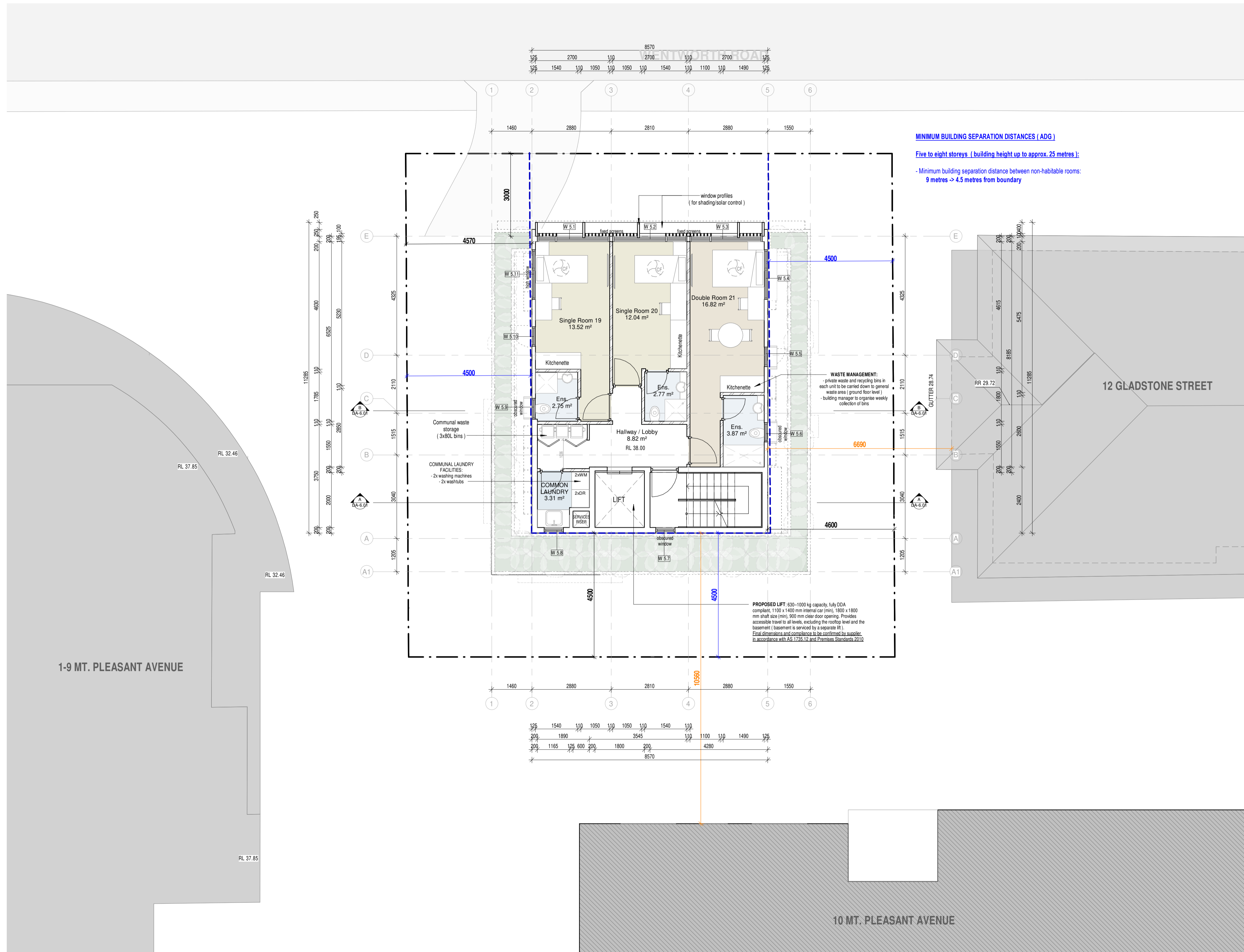
SHEET TITLE
LEVEL 4 FLOOR PLAN

DATE:	14.02.2026
SHEET NO.	DA-4.06
PROJECT #	0295
REVISION	B
SCALE	As indicated @ A1 Half the size @ A3

COMPLIANCE / BASIX NOTES
 FOR COMMENT AND REVIEW
 14.02.2026
 NOT FOR ISSUE

LEGEND

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- Demolished Element
- Proposed Timber Wall
- Proposed Brick Wall
- Proposed Concrete Wall/Slab
- Landscaping Area
- ADD setback line - 1/2 of the minimum specified building separation
- 2500 Building setback dimensions (from boundary) - see ADG notes on plans
- 2500 ADD setback line - from boundary (see ADG)
- 2500 Building separation dimensions (see ADG)



MINIMUM BUILDING SEPARATION DISTANCES (ADG)

Five to eight storeys (building height up to approx. 25 metres):

- Minimum building separation distance between non-habitable rooms:
 9 metres → 4.5 metres from boundary

PROPOSED LIFT: 630-1000 kg capacity, fully DDA compliant, 1100 x 1400 mm internal car (min), 1900 x 1800 mm shaft size (min), 900 mm clear door opening. Provides accessible travel to all levels, excluding the rooftop level and the basement (basement is serviced by a separate lift). Final dimensions and compliance to be confirmed by supplier in accordance with AS 1735.12 and Premises Standards 2010.

WASTE MANAGEMENT:
 - private waste and recycling bins in each unit to be carried down to general waste area (ground floor level)
 - building manager to organise weekly collection of bins

CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
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B	14.02.2026	preDA RESUBMISSION

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 Nominated Architect
 BRENT MARVIN
 NSW AHS 7422 | AHS 59 150 319 878
 Design Practitioner
 Reg. No. DEP000143

HEAD OFFICE:
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 Newtown, NSW 2042

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DEVELOPMENT APPLICATION

CLIENT
 Mr. Sabin Djuric

PROJECT
 PROPOSED CO-LIVING HOUSING
 64 Wentworth Rd., Burwood, NSW 2131

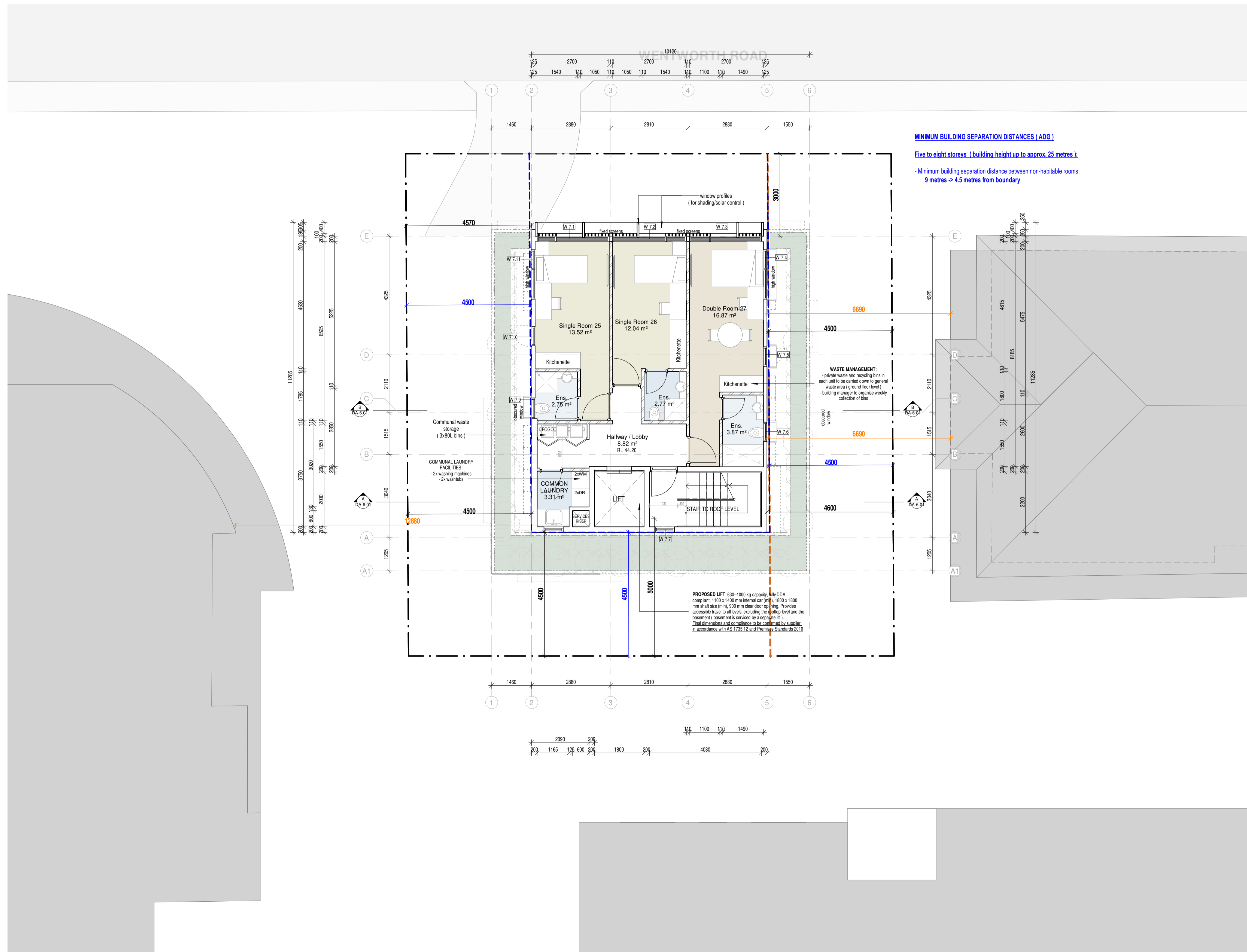
SHEET TITLE
 LEVELS 5-6 FLOOR PLAN

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-4.07	REVISION B
SCALE As indicated @ A1 Half the size @ A3	

COMPLIANCE / BASIX NOTES
 FOR COMMENT AND REVIEW
 14.02.2026
 NOT FOR ISSUE

LEGEND

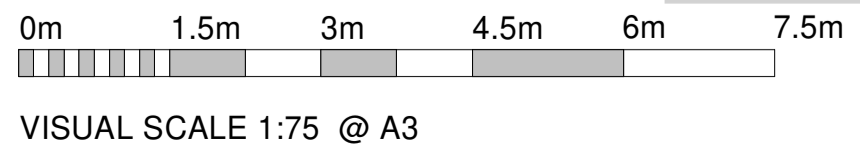
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MINIMUM BUILDING SEPARATION DISTANCES (ADG)
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 - Minimum building separation distance between non-habitable rooms:
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WASTE MANAGEMENT:
 - private waste and recycling bins in each unit to be carried down to general waste area (ground floor level)
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PROPOSED LIFT: 630-1000 kg capacity. Fully DDA compliant, 1100 x 1400 mm internal car (min), 1800 x 1800 mm shaft size (min), 300 mm clear door opening. Provides accessible travel to all levels, excluding the lift top level and the basement (basement is serviced by a separate lift). Final dimensions and compliance to be confirmed by supplier in accordance with AS 1735.12 and Prerequisite Standards 2010.



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 - STORMWATER PLANS - LOKA CONSULTING
 - GEOTECHNICAL REPORT - GEON ENVIRONMENTAL
 - BCA REPORT - DESIGN RIGHT CONSULTING
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MD+A ARCHITECTS
 HEAD OFFICE: Unit 508, 3 Gladstone Street, Newtown, NSW 2042
 STUDIOS: 121 Railway Avenue, Bundanoon, NSW 2578; SOUTHERN HIGHLANDS - 23 Balfour Street, Culcairn; RIVERINA
 NOMINATED ARCHITECT - BRENT MARVIN
 NSW AHS 7462 | ABN 59 150 319 878
 Design Practitioner
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 TEL: +61 1300 424 329
 BROWSE: www.mdoarchitects.com.au
 MAIL TO: PO Box 157, Murrumbidgee, NSW 2204
 Member Australian Institute of Architects

DEVELOPMENT APPLICATION

CLIENT
 Mr. Sibin Djuric

PROJECT
 PROPOSED CO-LIVING HOUSING
 64 Wentworth Rd., Burwood, NSW 2131

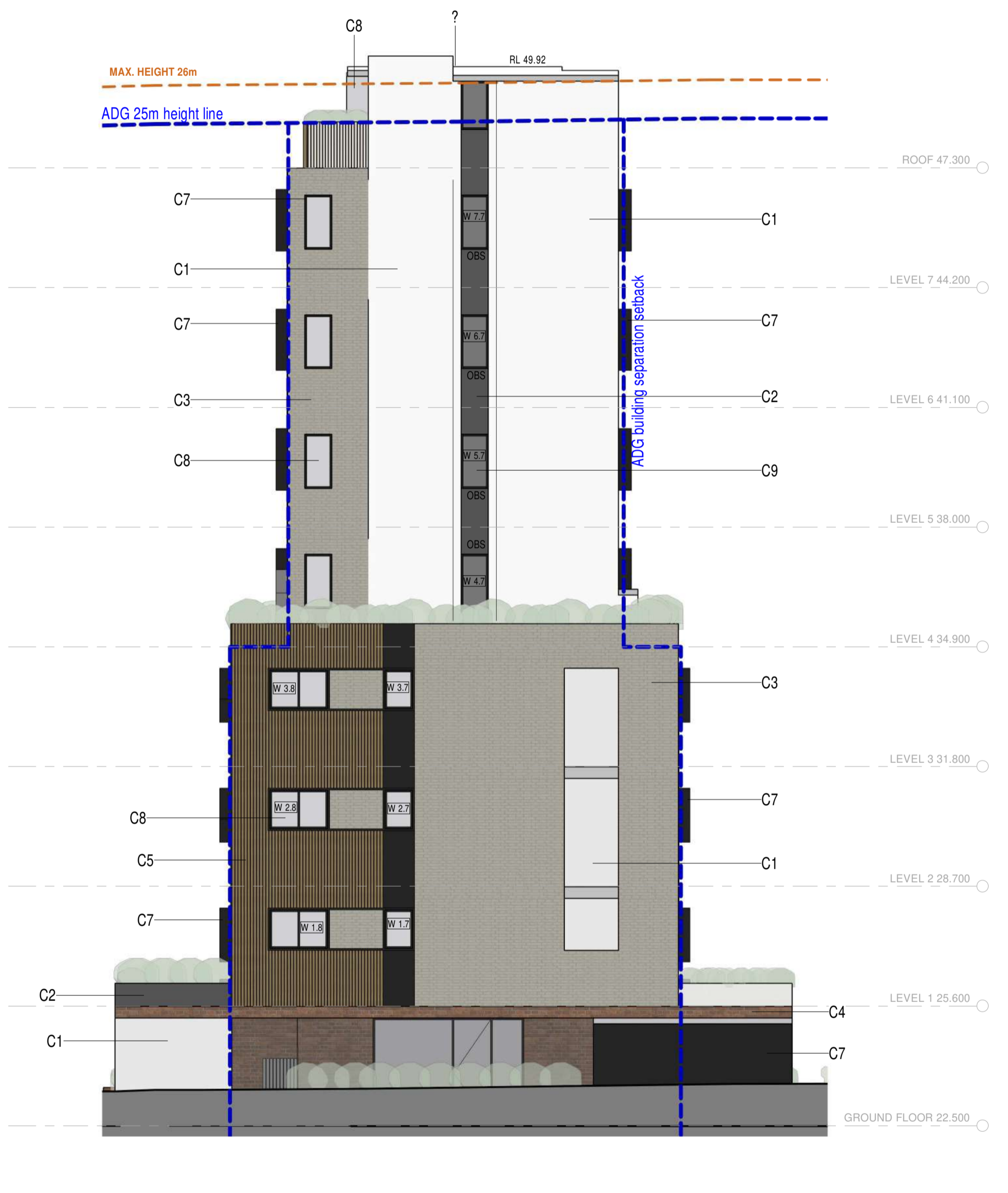
SHEET TITLE
LEVEL 7 FLOOR PLAN

DATE:	14.02.2026	PROJECT #	0295
SHEET NO.	DA-4.08	REVISION	B
SCALE	As indicated @ A1 Half the size @ A3		

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE



SOUTH ELEVATION



EAST ELEVATION

MATERIALS AND FINISHES LEGEND

C1 Paint "Warm White" For External Walls	C2 Paint "Medium Grey" For External Feature Walls	C3 Warm White Face Brick or similar For External Feature Walls	C4 Brick - Boral 76 Murray Grey or similar For External Feature Walls	C5 Timber Battens Cladding For External Feature Walls	C6 Bronze / Copper Cladding and finish For External Walls, Metal Railings and Metal Gates/Fencing	C7 Dark/Black Anodized Aluminium For Windows Framing and Boxed Windows	C8 Transparent Glass For Glazing	C9 Translucent Glass For Glazing (Bathrooms)



VISUAL SCALE 1:100 @ A3

CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
- SURVEY - D&C SURVEY
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Rev.	Date	Description
A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

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DEVELOPMENT APPLICATION

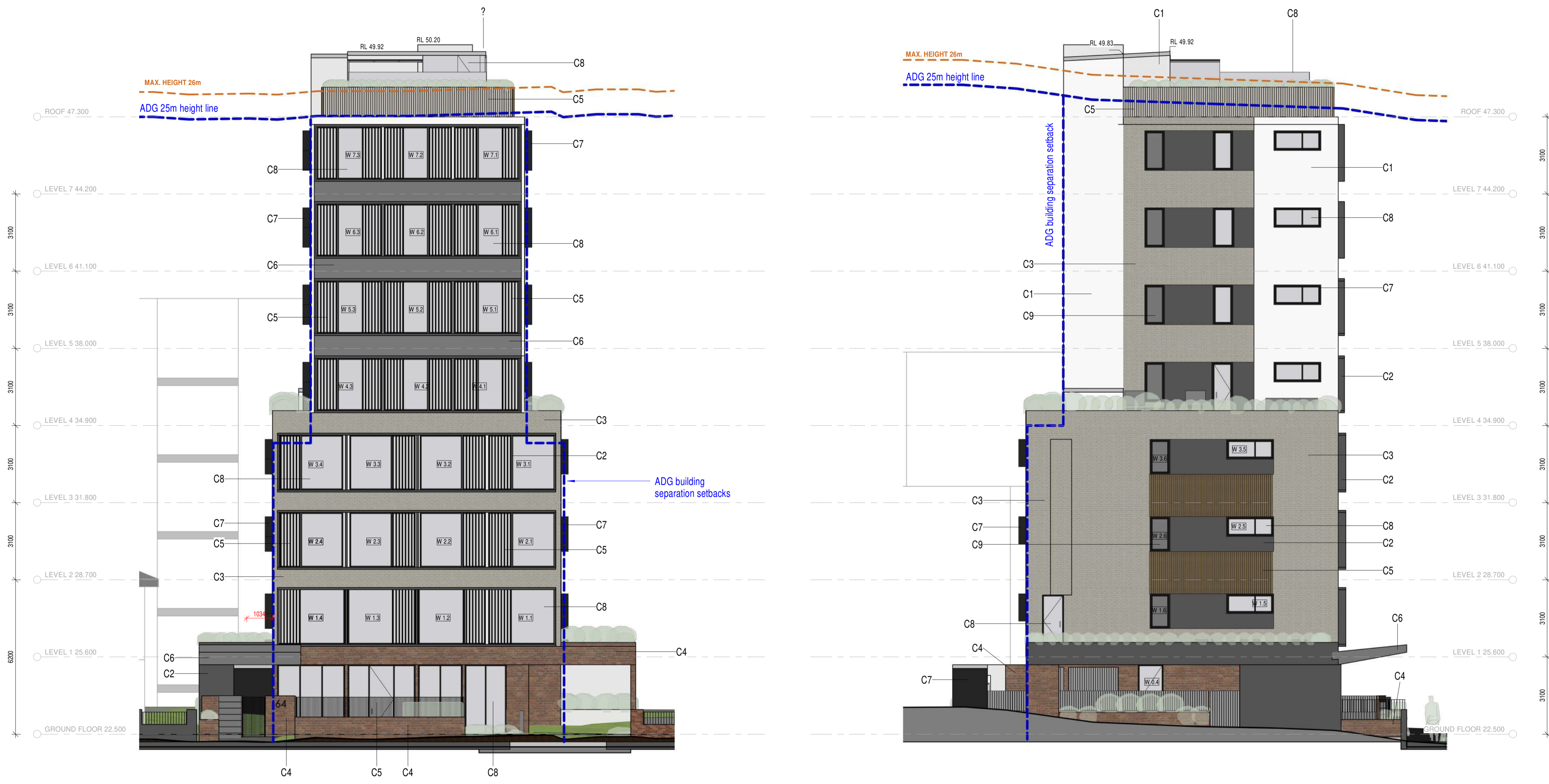
CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
ELEVATIONS

DATE:	14.02.2026
SHEET NO.	DA-5.01
PROJECT #	0295
REVISION	B
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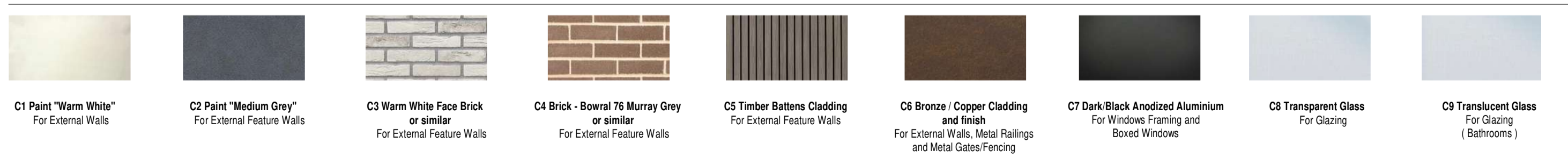
FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE



WEST ELEVATION

NORTH ELEVATION

MATERIALS AND FINISHES LEGEND



VISUAL SCALE 1:100 @ A3

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SHEET TITLE
ELEVATIONS

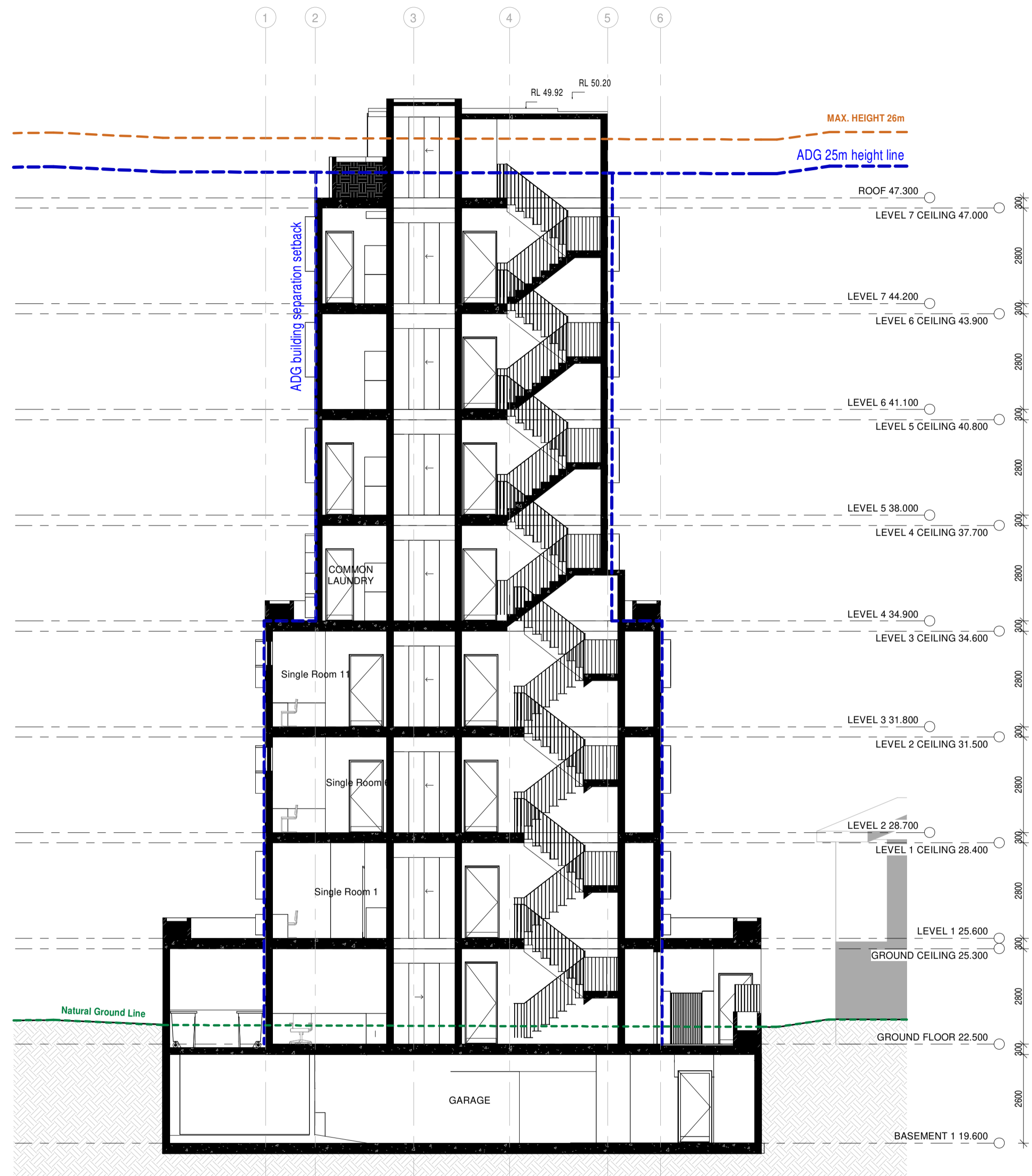
DATE: 14.02.2026

SHEET NO.	PROJECT #
DA-5.02	0295
	REVISION B

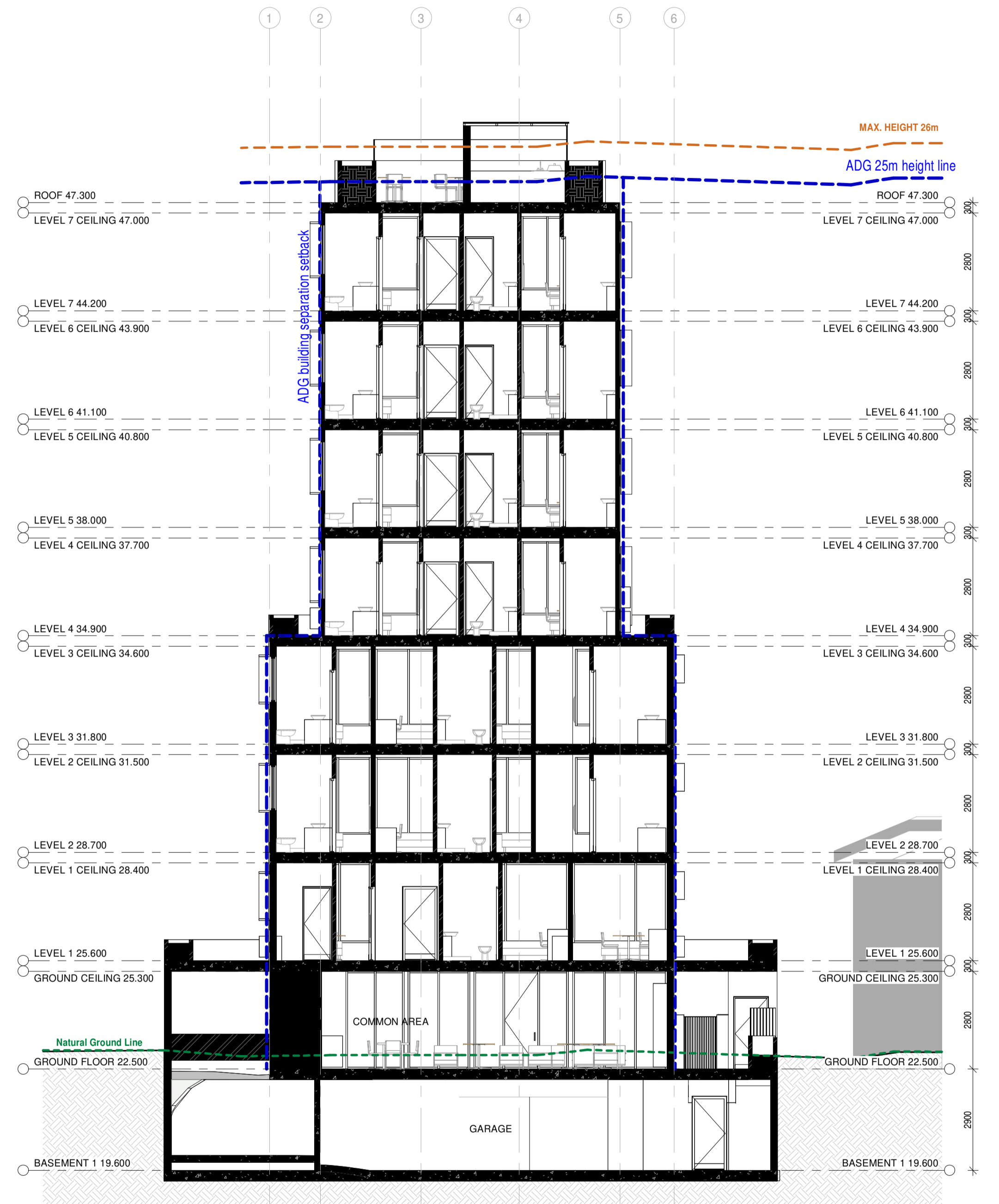
SCALE 1:100 @ A1
Half the size @ A3

COMPLIANCE / BASIX NOTES
 FOR COMMENT AND REVIEW
 14.02.2026
 NOT FOR ISSUE

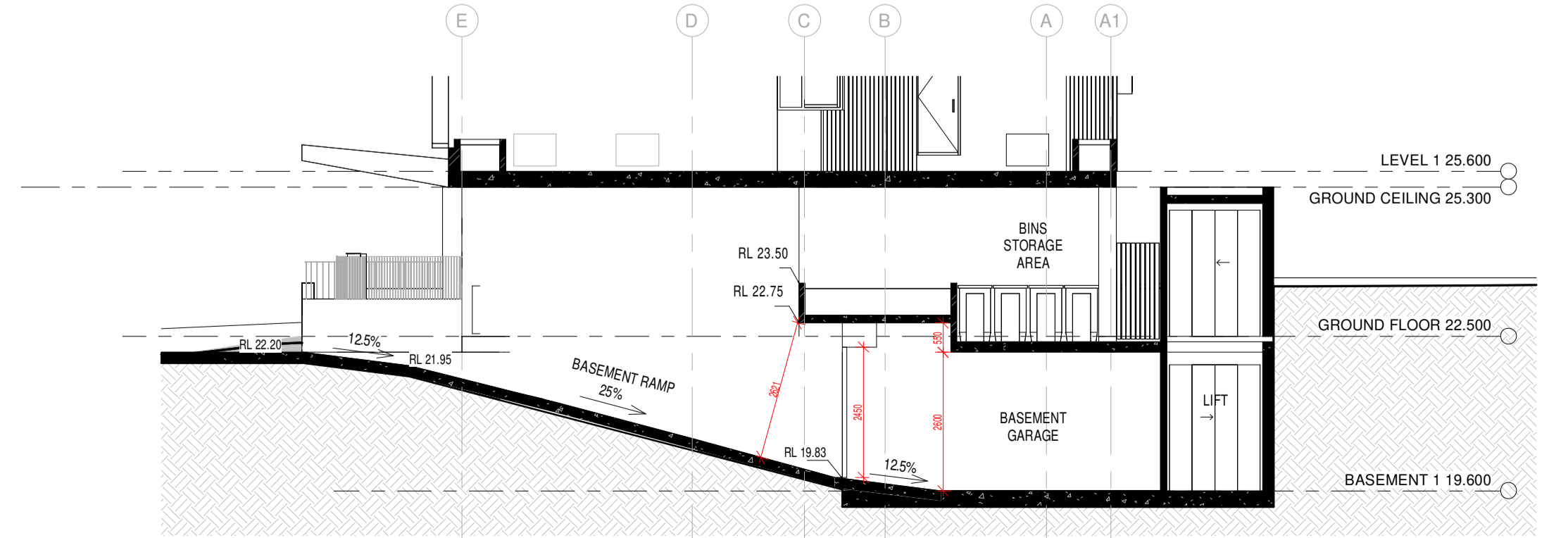
- LEGEND**
- Existing Element
 - Demolished Element
 - Proposed Timber Wall
 - Proposed Brick Wall
 - Proposed Concrete Wall/Slab
 - Landscaping Area
 - ADG setback line
- 1/2 of the minimum specified building separation
 - 2500 Building setback dimensions (from boundary) - see ADG notes on plans
 - 2500 ADG setback line - from boundary (see ADG)
 - 2500 Building separation dimensions (see ADG)



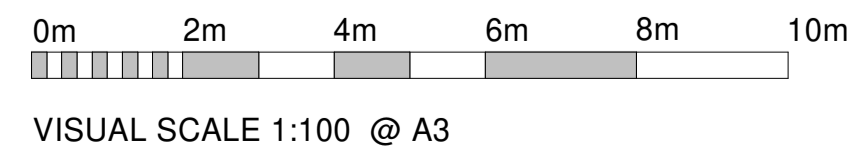
SECTION A



SECTION B



BASEMENT RAMP SECTION



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DEVELOPMENT APPLICATION

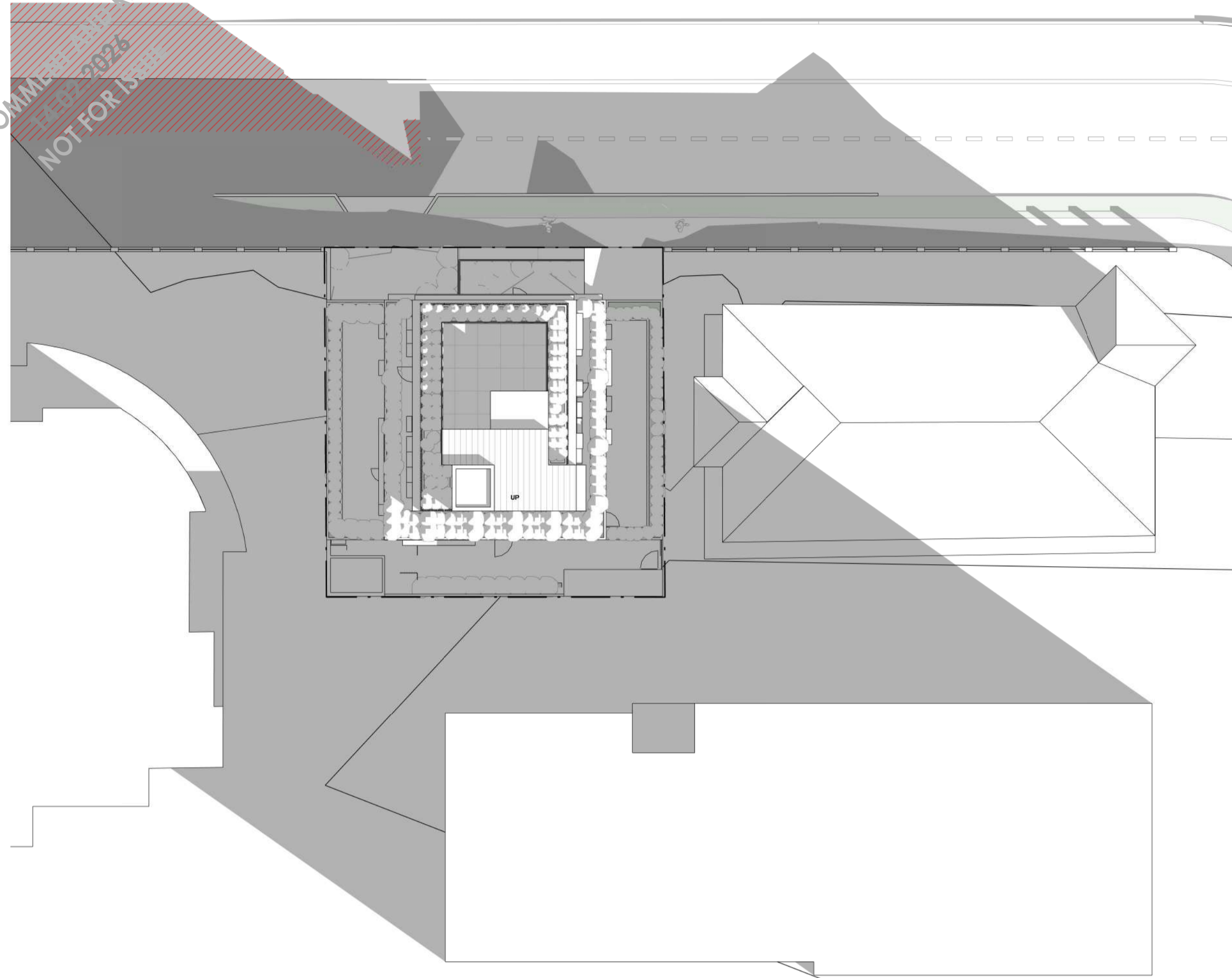
CLIENT
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PROJECT
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 64 Wentworth Rd., Burwood, NSW 2131

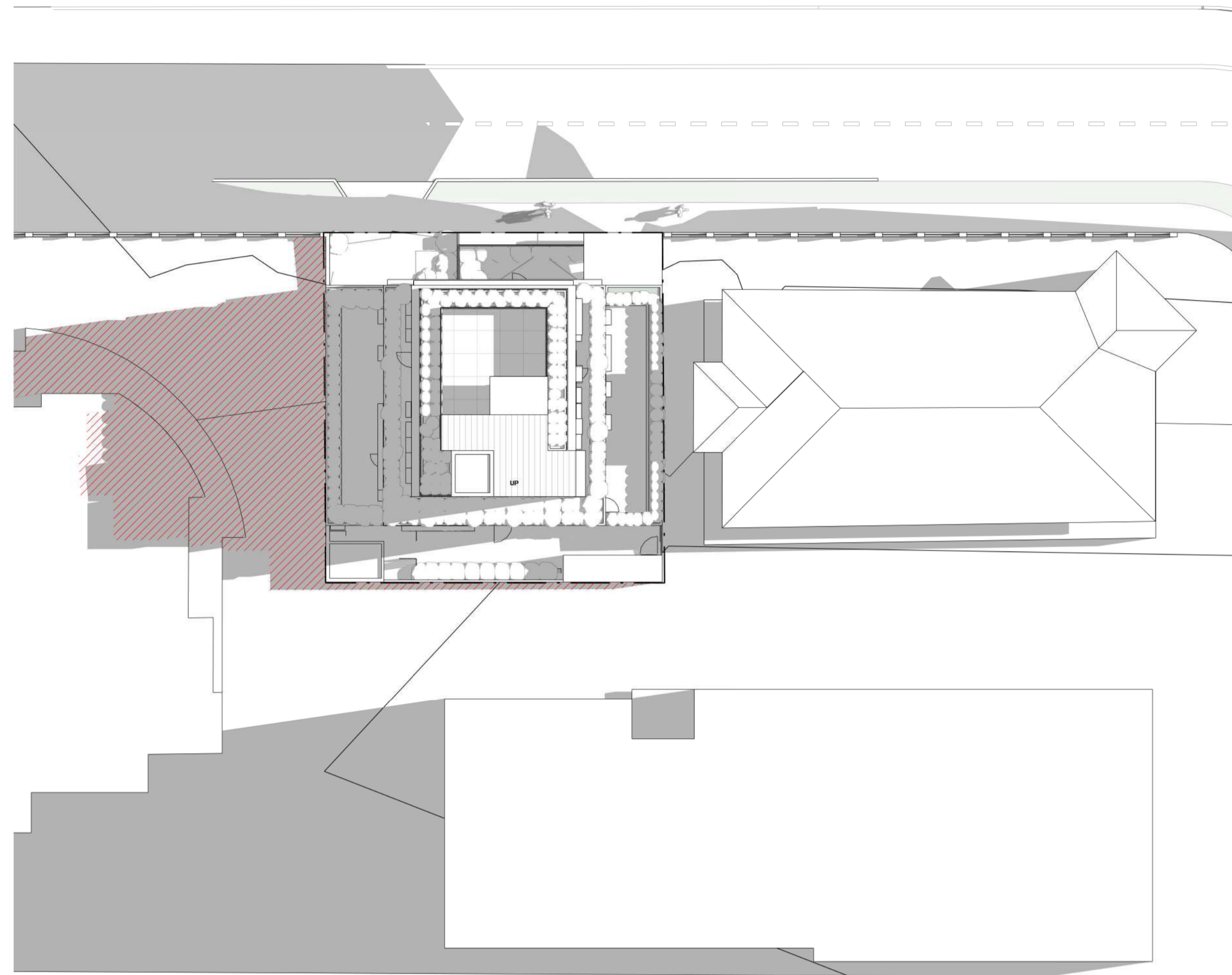
SHEET TITLE
 SECTIONS

DATE: 14.02.2026	PROJECT #: 0295
SHEET NO. DA-6.01	REVISION: B
SCALE: As indicated @ A1 Half the size @ A3	

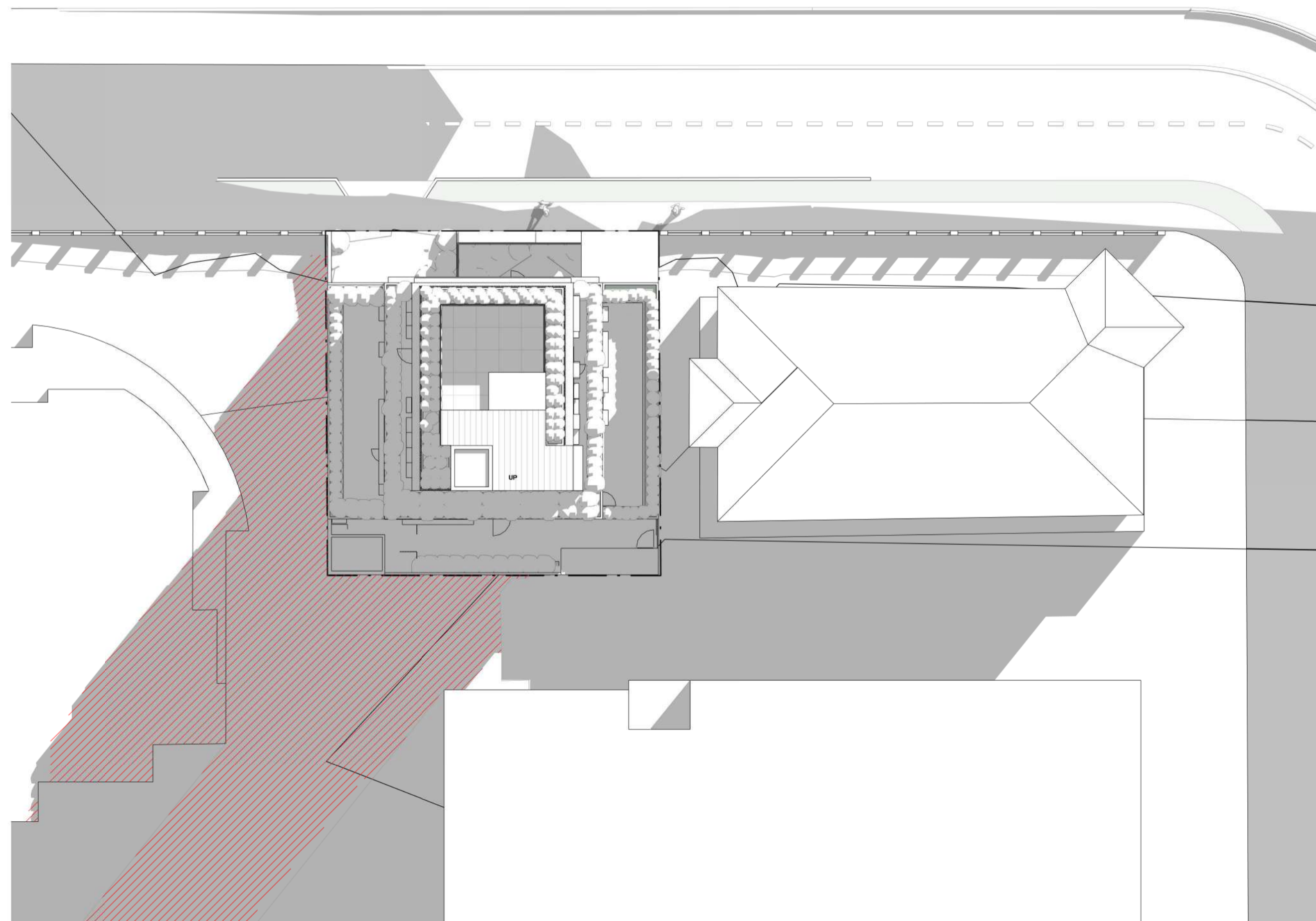
FOR COMMENTARY REVIEW
14.02.2026
NOT FOR ISSUANCE



9am Shadows





12Noon Shadows



3pm Shadows

SHADOW DIAGRAM - LEGEND

-  NEW SHADOW CAST
-  EXISTING SHADOWS

CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
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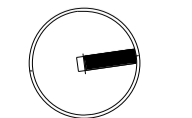
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DEVELOPMENT APPLICATION

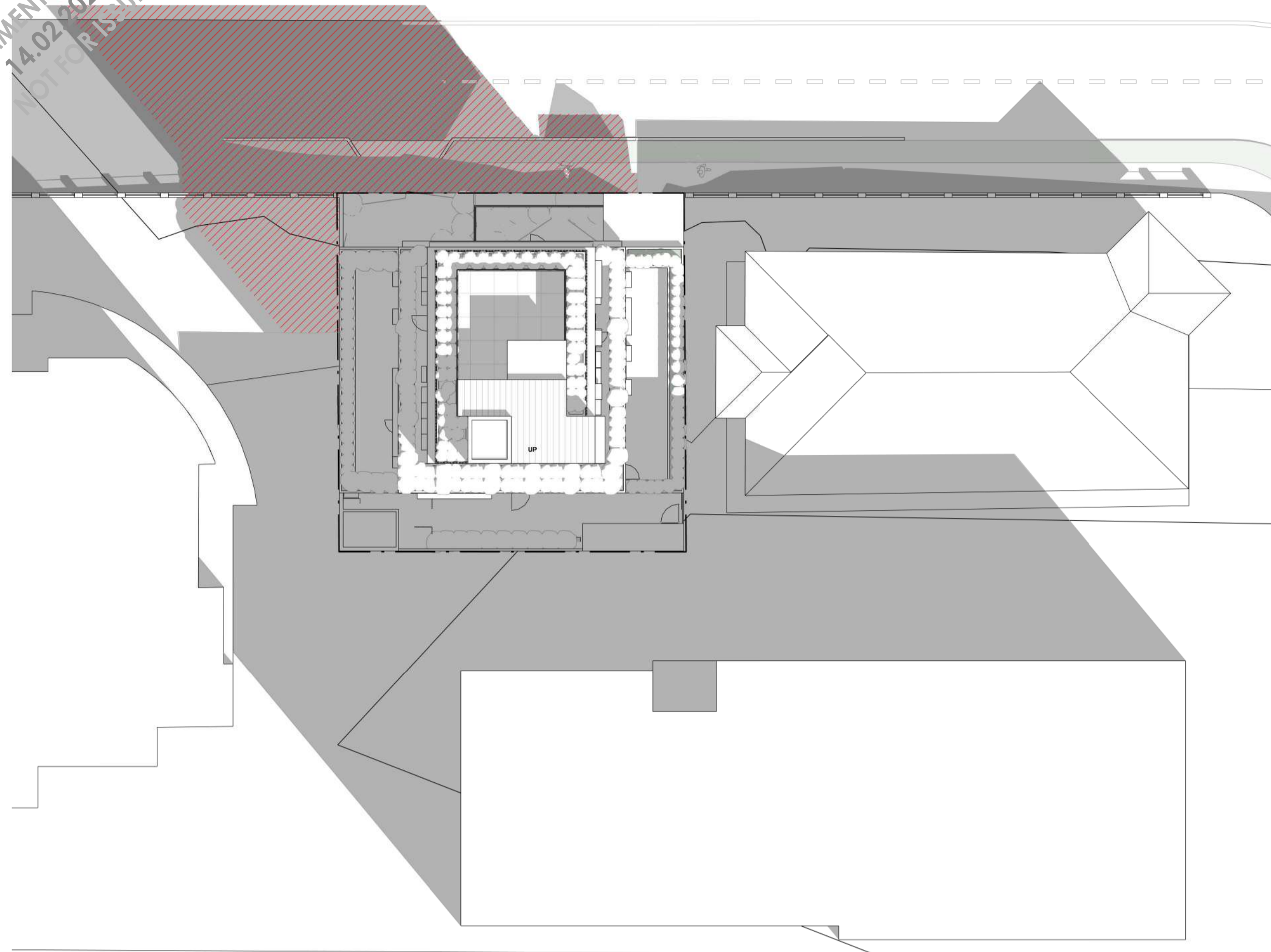
CLIENT
 Mr. Sibir Djuric

PROJECT
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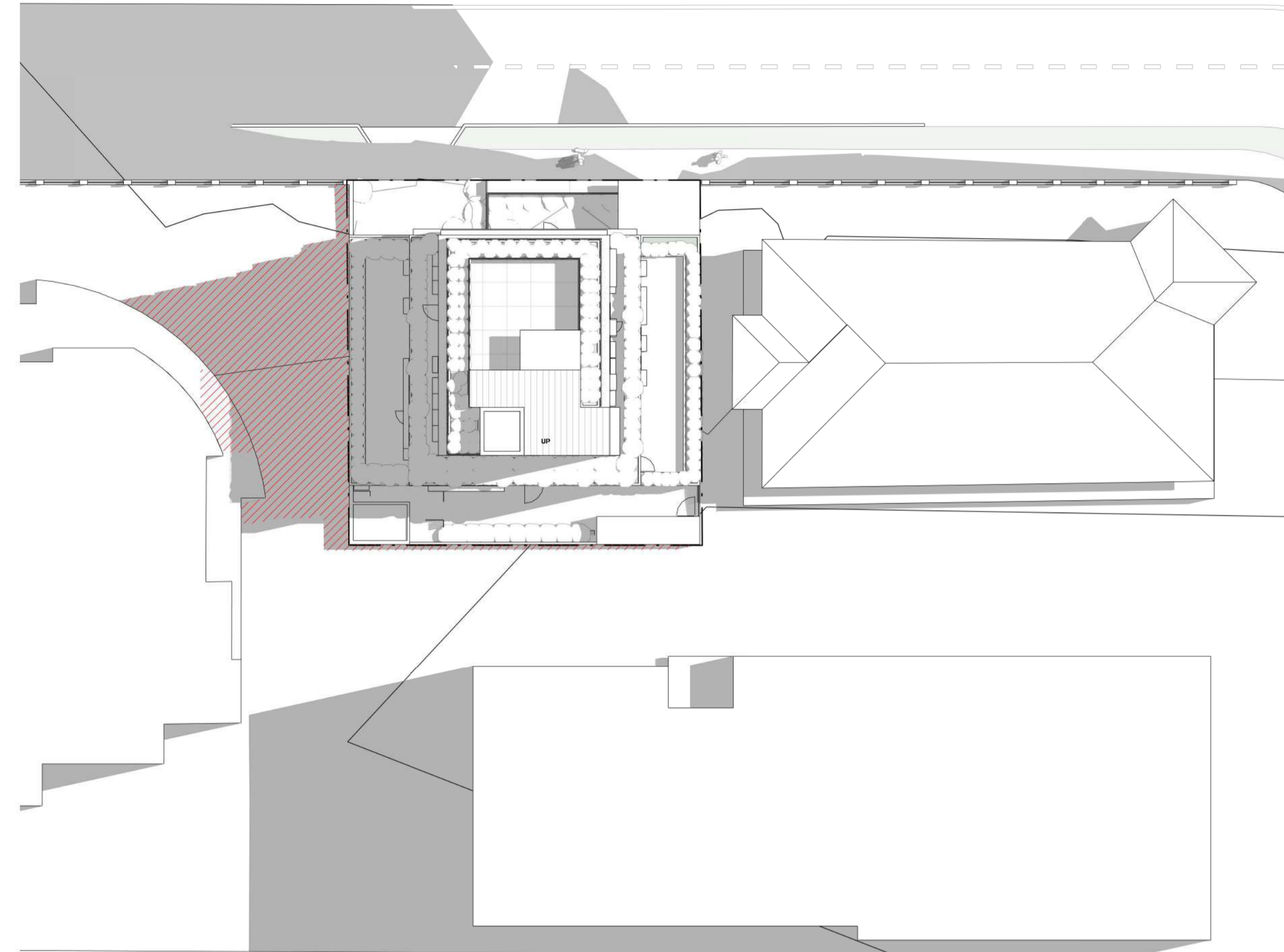
SHEET TITLE
SHADOW DIAGRAMS (JUNE 21st)

DATE:	14.02.2026	PROJECT #	0295
SHEET NO.	DA-7.01	REVISION	B
SCALE	1:200 @ A1 Half the size @ A3		

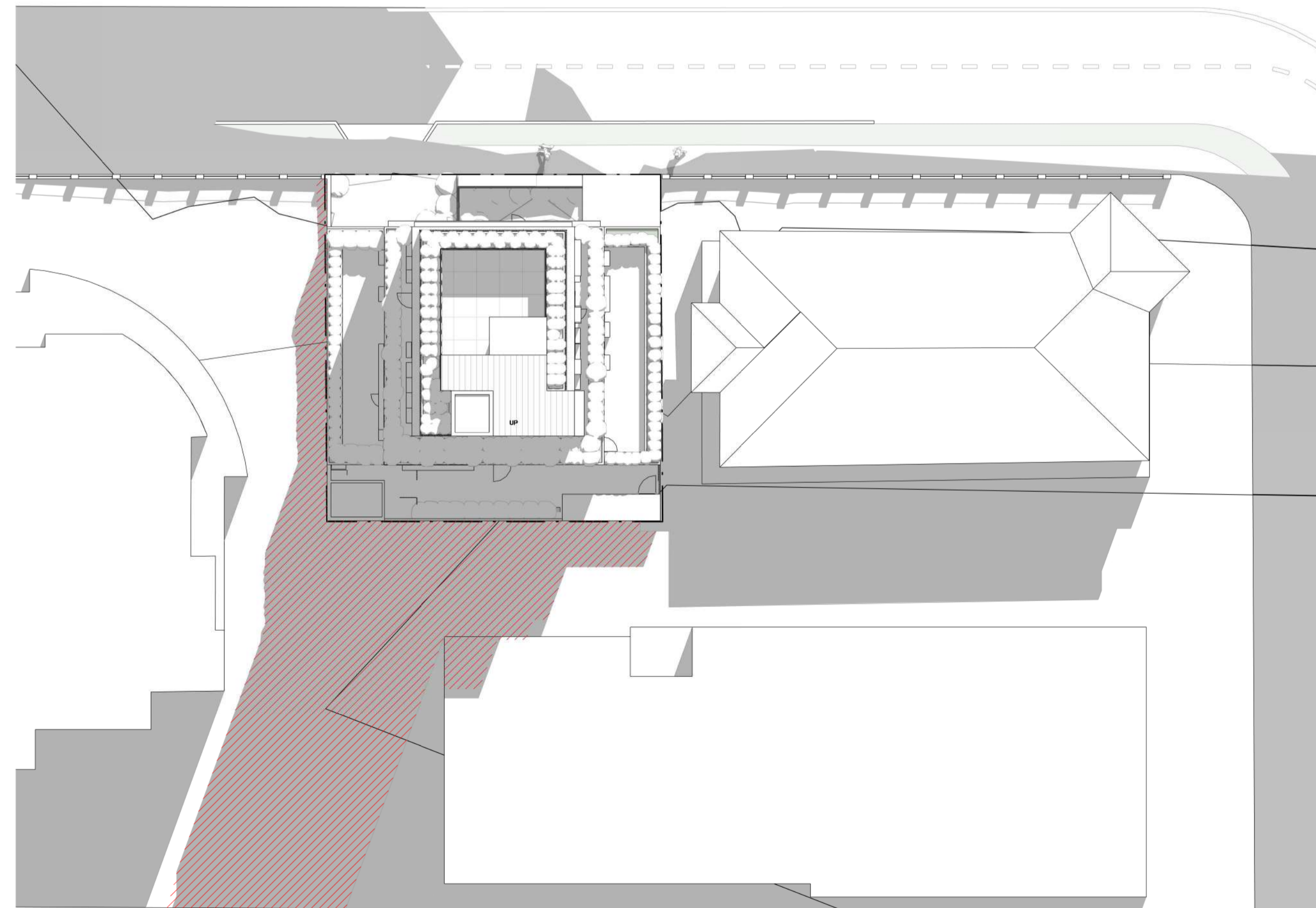
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14.02.2026
NOT FOR ISSUE



9am Shadows



12Noon Shadows



3pm Shadows

SHADOW DIAGRAM - LEGEND

- NEW SHADOW CAST
- EXISTING SHADOWS

CONSULTANTS

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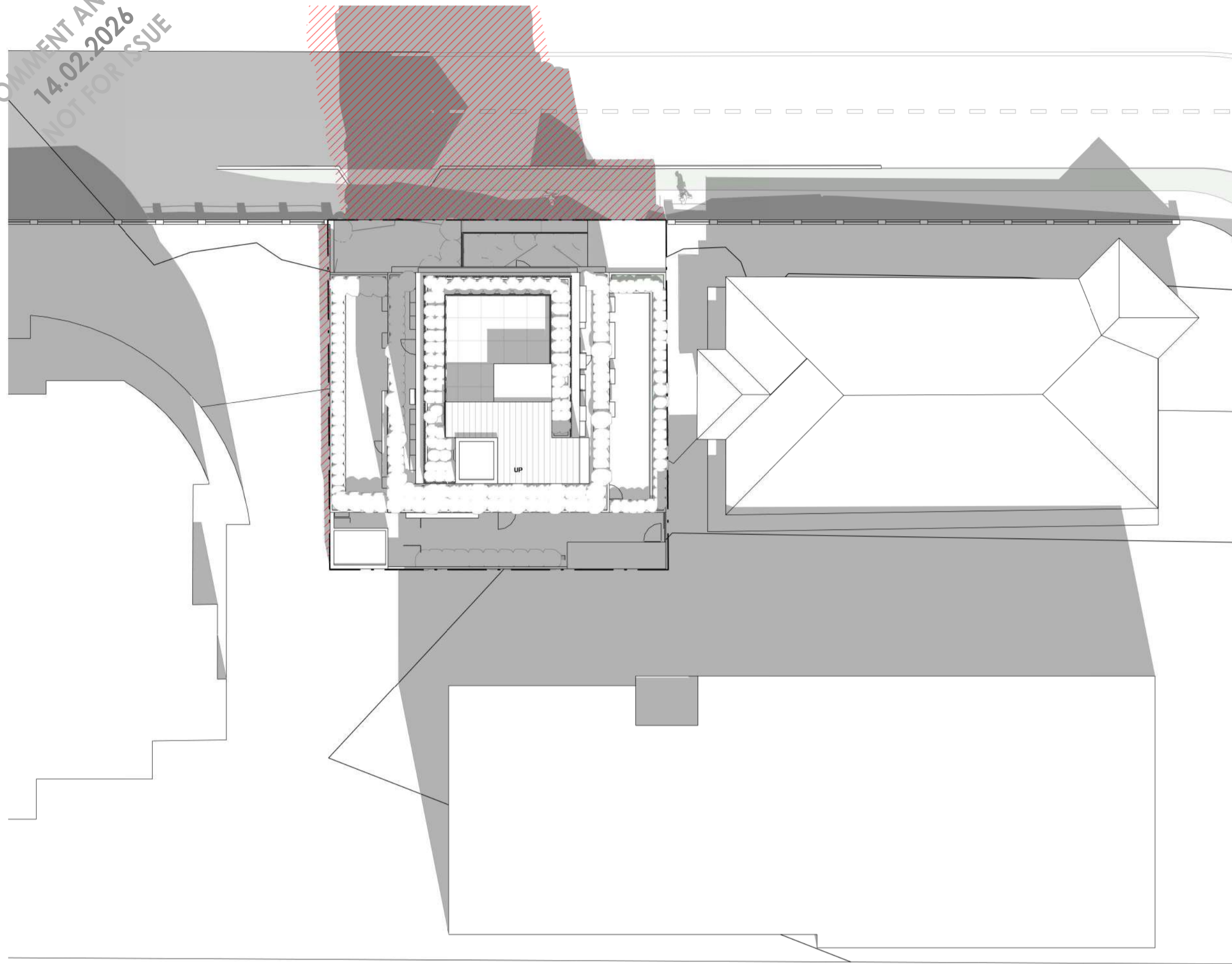
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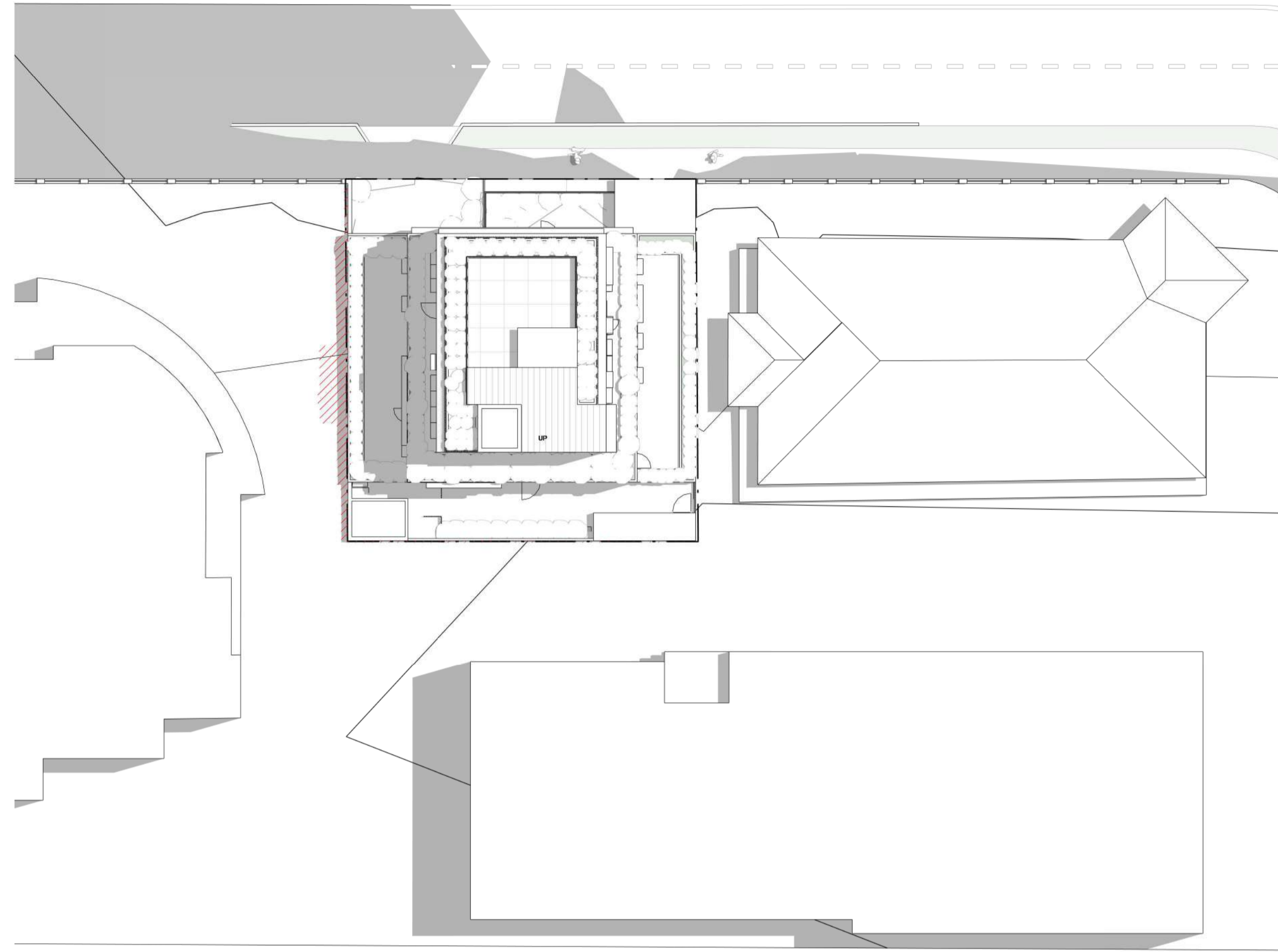
SHEET TITLE
SHADOW DIAGRAMS
(SEPTEMBER 21st)

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-7.02	REVISION B
SCALE 1:200 @ A1 Half the size @ A3	

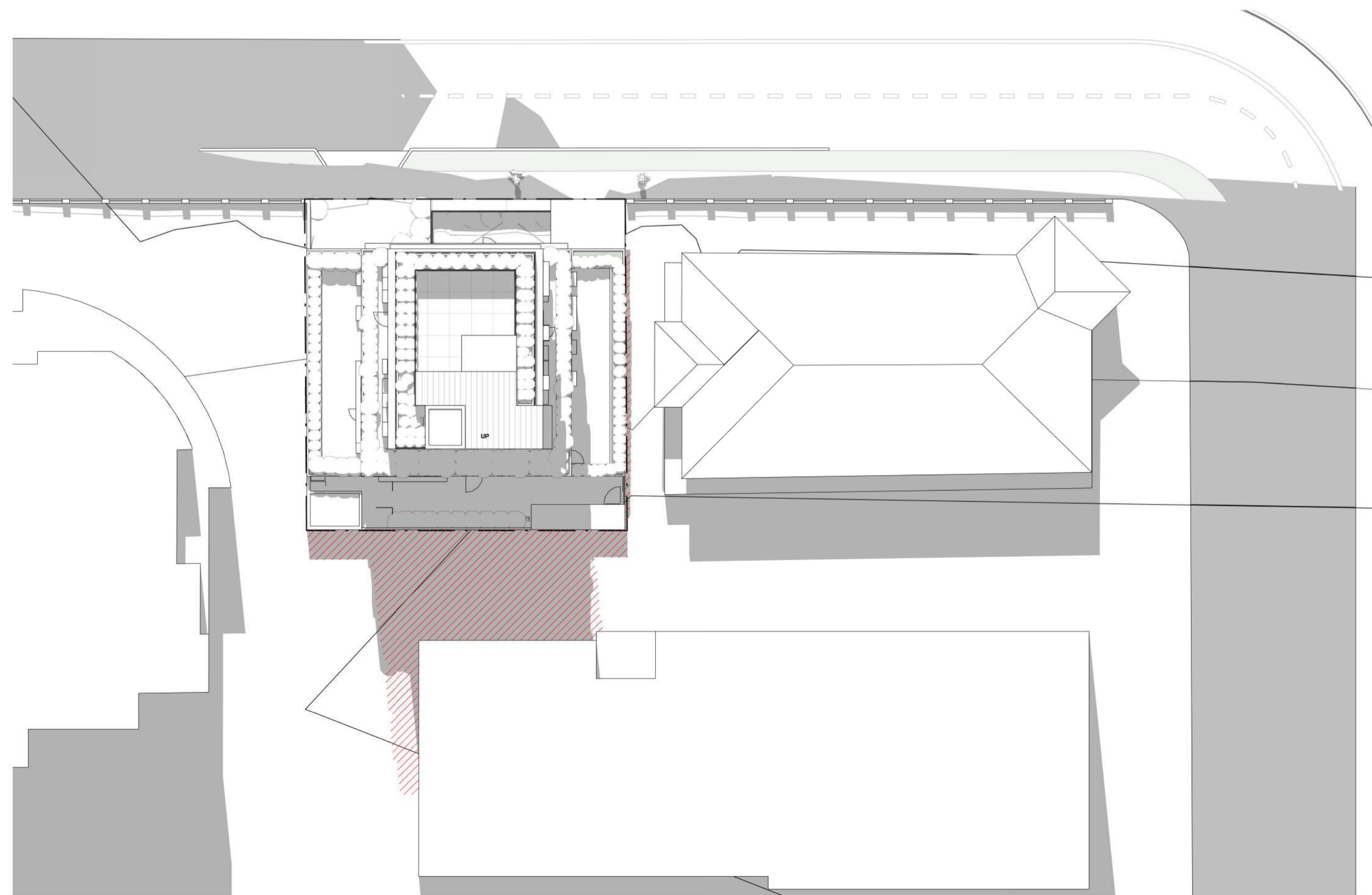
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9am Shadows



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3pm Shadows

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- EXISTING SHADOWS

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DEVELOPMENT APPLICATION

CLIENT
Mr. Sibir Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
**SHADOW DIAGRAMS
(DECEMBER 21st)**

DATE:	14.02.2026	PROJECT #	0295
SHEET NO.	DA-7.03	REVISION	B
SCALE	1:200 @ A1 Half the size @ A3		

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE



CONSULTANTS

- CLIENT - MR. AND MRS. DJURIC
- ARCHITECT - MD+A ARCHITECTS AUSTRALIA PL
- TOWN PLANNER - WESTERN SYDNEY PLANNING
- SURVEY - D&C SURVEY
- ACOUSTIC REPORT - ACOUSTIC LOGIC
- QS REPORT - DUO QS
- TRAFFIC REPORT - LOKA CONSULTING
- STORMWATER PLANS - LOKA CONSULTING
- GEOTECHNICAL REPORT - GEOENVIRONMENTAL
- BCA REPORT - DESIGN RIGHT CONSULTING
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- PLAN OF MANAGEMENT - WESTERN SYDNEY PLANNING
- WASTE MANAGEMENT PLAN - LOKA CONSULTING
- LANDSCAPE PLAN - RAY FUGGLE ASSOCIATES

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NOT FOR CONSTRUCTION

Rev.	Date	Description
A	04.11.2025	preDA RESUBMISSION
B	14.02.2026	preDA RESUBMISSION

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NOMINATED ARCHITECT
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DEVELOPMENT APPLICATION

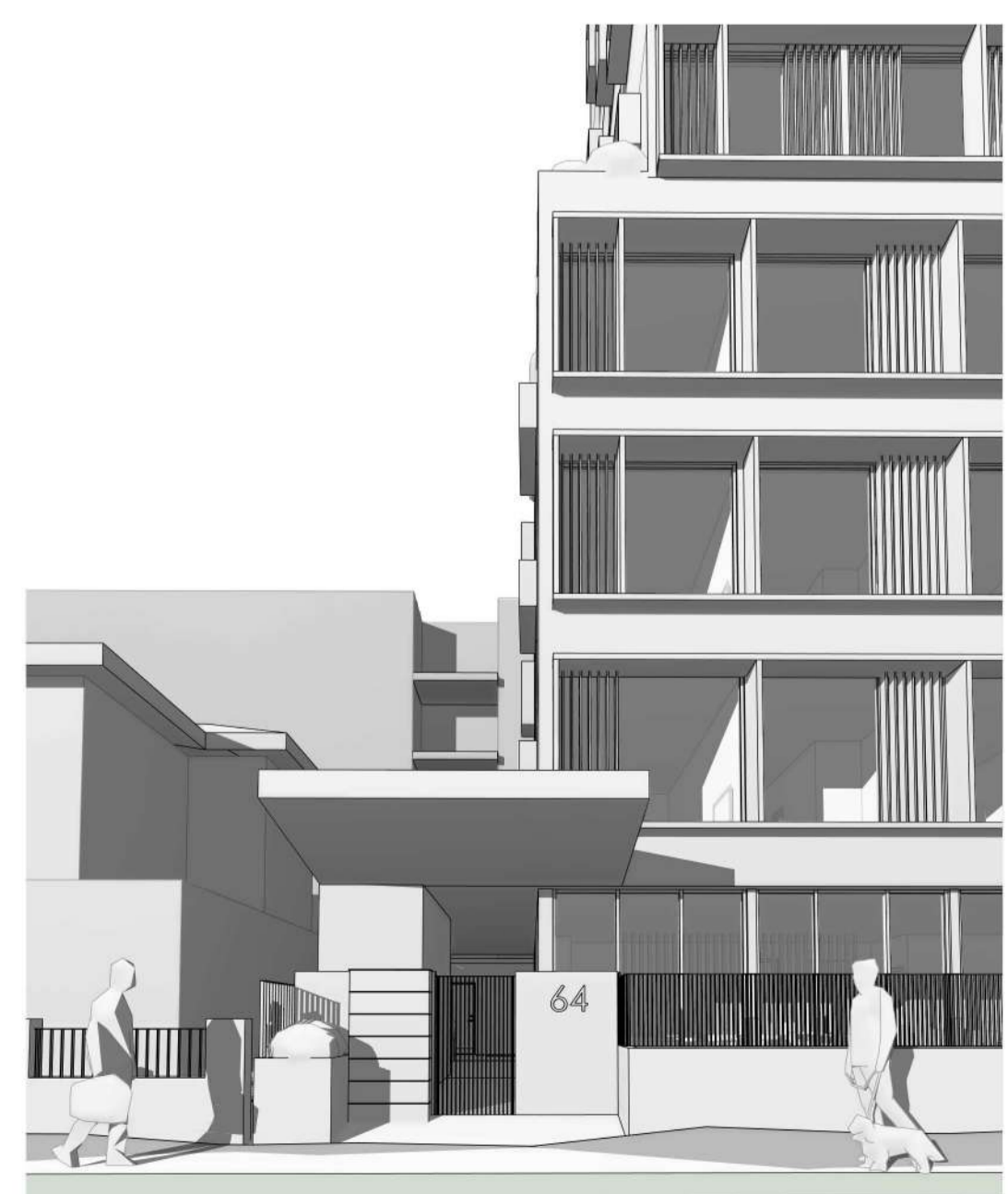
CLIENT
Mr. Sibir Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
MAX. HEIGHT PLANE

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-8.00	REVISION B
SCALE Half the size	<ul style="list-style-type: none"> ⊗ A1 ⊗ A3

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14.02.2026
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B	14.02.2026	preDA RESUBMISSION

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DEVELOPMENT APPLICATION

CLIENT
 Mr. Sabin Djuric

PROJECT
 PROPOSED CO-LIVING HOUSING
 64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
PERSPECTIVES

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-8.01	REVISION B
SCALE: @ A1 Half the size @ A3	

FOR COMMENT AND REVIEW
14.02.2026
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B	14.02.2026	preDA RESUBMISSION

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DEVELOPMENT APPLICATION

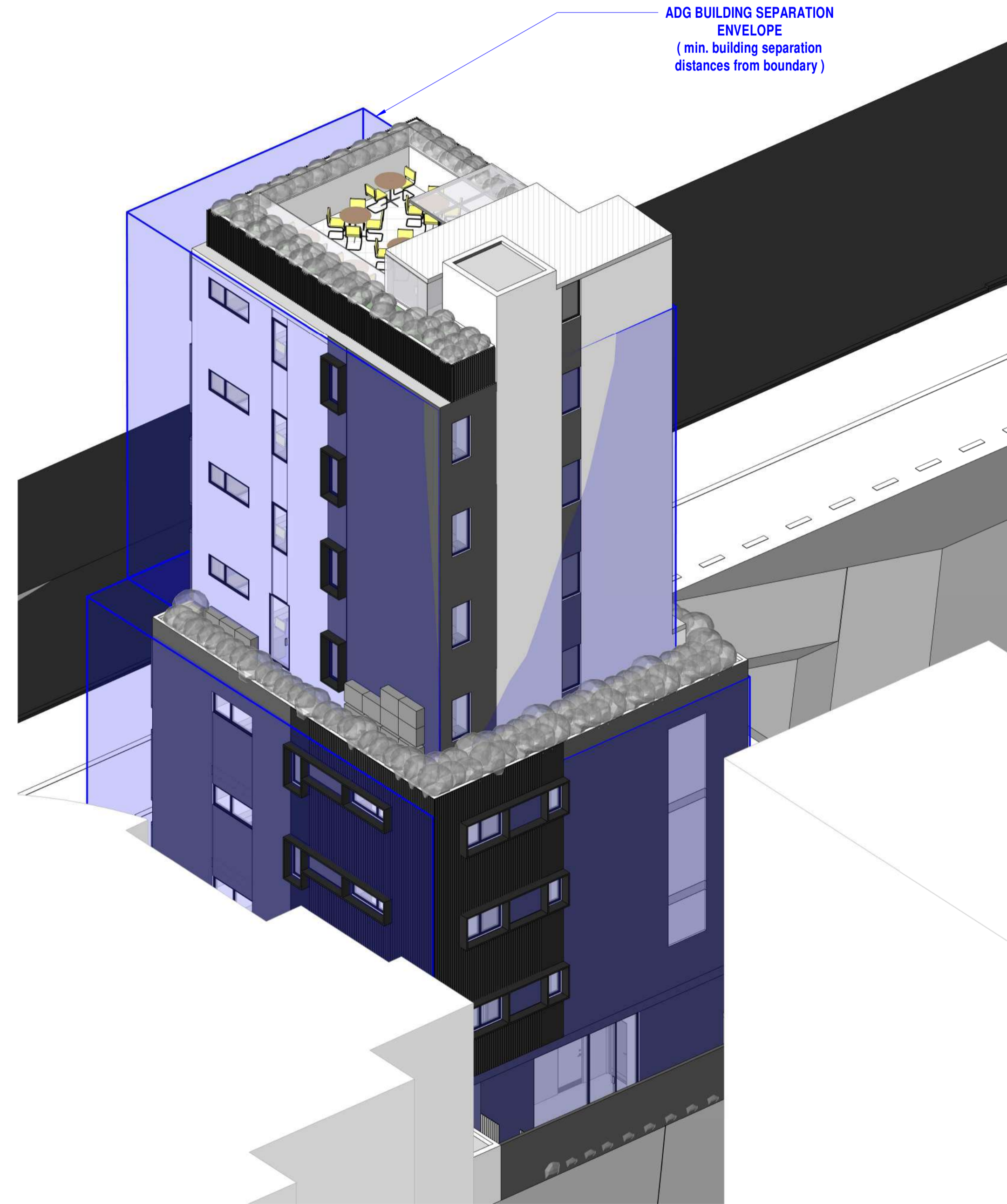
CLIENT
Mr. Siben Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
PERSPECTIVES

DATE: 14.02.2026	PROJECT # 0295
SHEET NO. DA-8.02	REVISION B
SCALE @ A1 Half the size @ A3	

FOR COMMENT AND REVIEW
14.02.2026
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B	14.02.2026	preDA RESUBMISSION

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DEVELOPMENT APPLICATION

CLIENT
Mr. Sabin Djuric

PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
ADG BUILDING SEPARATION ENVELOPE

DATE: 14.02.2026

SHEET NO.	PROJECT #
DA-8.03	0295
	REVISION B

SCALE: @ A1
Half the size @ A3

FOR COMMENT AND REVIEW
14.02.2026
NOT FOR ISSUE

Windows Schedule			
Mark	Length	Height	Area
W 0.0	1660	2800	4.65 m ²
W 0.1	1770	2800	4.95 m ²
W 0.2	2700	2800	7.56 m ²
W 0.3	2700	2800	7.56 m ²
W 0.4	1000	2850	2.85 m ²
W 1.1	2700	2280	6.16 m ²
W 1.2	2700	2280	6.16 m ²
W 1.3	2700	2280	6.16 m ²
W 1.4	2700	2280	6.16 m ²
W 1.5	1800	700	1.26 m ²
W 1.6	700	1300	0.91 m ²
W 1.7	720	1000	0.72 m ²
W 1.7	850	2100	1.79 m ²
W 1.8	1500	1000	1.50 m ²
W 1.9	1500	700	1.05 m ²
W 1.10	850	2200	1.87 m ²
W 1.11	720	1300	0.94 m ²
W 1.12	1800	700	1.26 m ²
W 2.1	2700	2195	5.93 m ²
W 2.2	2625	2195	5.76 m ²
W 2.3	2625	2195	5.76 m ²
W 2.4	2550	2195	5.60 m ²
W 2.5	1800	700	1.26 m ²
W 2.6	700	1300	0.91 m ²
W 2.7	720	1000	0.72 m ²
W 2.8	1500	1000	1.50 m ²
W 2.9	1800	700	1.26 m ²
W 2.11	800	1300	0.94 m ²
W 2.12	1800	700	1.26 m ²
W 3.1	2700	2195	5.93 m ²
W 3.2	2625	2195	5.76 m ²
W 3.3	2625	2195	5.76 m ²
W 3.4	2550	2195	5.60 m ²
W 3.5	1800	700	1.26 m ²
W 3.6	700	1300	0.91 m ²
W 3.7	720	1000	0.72 m ²
W 3.8	1500	1000	1.50 m ²
W 3.9	1800	700	1.26 m ²
W 3.11	800	1300	0.94 m ²
W 3.12	1800	700	1.26 m ²
W 4.1	2625	2100	5.51 m ²

Windows Schedule			
Mark	Length	Height	Area
W 4.2	2700	2100	5.67 m ²
W 4.3	2625	2100	5.51 m ²
W 4.4	1800	700	1.26 m ²
W 4.5	750	2200	1.65 m ²
W 4.6	700	1500	1.05 m ²
W 4.7	700	1400	0.98 m ²
W 4.8	700	1400	0.98 m ²
W 4.9	760	1500	1.14 m ²
W 4.10	900	2200	1.98 m ²
W 4.11	1800	700	1.26 m ²
W 5.1	2625	2100	5.51 m ²
W 5.2	2700	2100	5.67 m ²
W 5.3	2625	2100	5.51 m ²
W 5.4	1800	700	1.26 m ²
W 5.5	700	1500	1.05 m ²
W 5.6	700	1500	1.05 m ²
W 5.7	700	1400	0.98 m ²
W 5.8	700	1400	0.98 m ²
W 5.9	760	1500	1.14 m ²
W 5.10	700	1500	1.05 m ²
W 5.11	1800	700	1.26 m ²
W 6.1	2625	2100	5.51 m ²
W 6.2	2700	2100	5.67 m ²
W 6.3	2625	2100	5.51 m ²
W 6.4	1800	700	1.26 m ²
W 6.6	700	1500	1.05 m ²
W 6.7	700	1400	0.98 m ²
W 6.8	700	1400	0.98 m ²
W 6.9	760	1500	1.14 m ²
W 6.10	700	1500	1.05 m ²
W 6.11	1800	700	1.26 m ²
W 7.1	2625	2100	5.51 m ²
W 7.2	2700	2100	5.67 m ²
W 7.3	2625	2100	5.51 m ²
W 7.4	1800	700	1.26 m ²
W 7.5	700	1500	1.05 m ²
W 7.6	700	1500	1.05 m ²
W 7.7	700	1400	0.98 m ²
W 7.9	760	1500	1.14 m ²
W 7.10	700	1500	1.05 m ²
W 7.11	1800	700	1.26 m ²
W 8.1	700	1250	0.87 m ²

CONSULTANTS

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DEVELOPMENT APPLICATION

CLIENT
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PROJECT
PROPOSED CO-LIVING HOUSING
64 Wentworth Rd., Burwood, NSW 2131

SHEET TITLE
WINDOWS SCHEDULE 1

DATE: 14.02.2026

SHEET NO.	PROJECT #
DA-9.01	0295
	REVISION B

SCALE @ A1
Half the size @ A3